

**SAWYER
SHERWOOD
& ASSOCIATE
ARCHITECTURE**

124 Market St, Wilmington, NC 28401
910 762-0892 s2a3.com



PRELIMINARY
NOT FOR
CONSTRUCTION

**MAIDES PARK
GYMNASIUM
ADDITION**

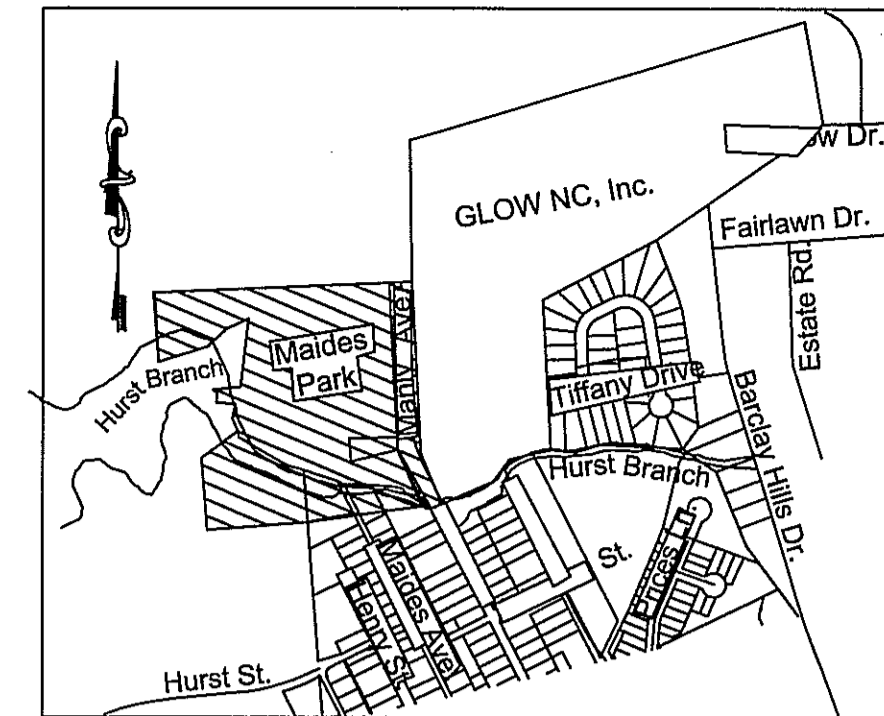
1101 MANLY AVENUE
Wilmington, NC, 28405

CITY OF WILMINGTON
MINOR SITE PLAN SUBMITTAL
06-21-2019

Revisions:

OVERALL PLAN

C100



VICINITY MAP - NTS

SITE DATA

PROJECT:	MAIDES PARK: GYMNASIUM ADDITION	
OWNER:	CITY OF WILMINGTON	
DEVELOPER/APPLICANT:	RYAN O'REILLY PARKS LANDSCAPE AND FORESTRY MANAGER COMMUNITY SERVICES, PARKS AND RECREATION DIVISION 1702 BURNETT BOULEVARD WILMINGTON, NC 28405 910-341-7818	
DESIGNER:	CLH DESIGN, PA	
DESIGNER CONTACT:	RENEE PFEIFER REGENCY PARK 400 REGENCY FOREST DR., STE. 120 CARY, NC 27518 PHONE: 919-319-6716 FAX: 919-678-3170	
PROJECT ADDRESS:	1101 MANLY AVE. WILMINGTON, NC 28405	
TAX PIN:	3138-13-8976.000	
ZONING:	R-10	
OVERLAY DISTRICT:	NONE	
EXISTING USE:	MUNICIPAL PARK & RECREATION AREA	
PROPOSED USE:	MUNICIPAL PARK & RECREATION AREA	
TRACT AREA:	14.16 ACRES	
DISTURBED AREA:	0.45 ACRES	
FLOODPLAIN:	SITE IS NOT WITHIN A FLOODPLAIN (REF: MAP 37203138000 DATED AUG. 28, 2018)	
THERE ARE NO WETLANDS ON THIS SITE. THERE ARE NO ENDANGERED SPECIES OR HABITATS ON THIS SITE.		
BUILDING SETBACKS:	REQUIRED	PROVIDED
FRONT	30'	93.72'
REAR	25'	445 FEET
INTERIOR SIDE	10'	218.41 (NORTH)
CORNER SIDE	15'	-
TYPE OF CONSTRUCTION:	IB	
NUMBER OF PROPOSED BUILDINGS:	1	
NUMBER OF FLOORS ON PROPOSED BUILDING:	1	
GROSS FLOOR AREA:	EXISTING: 4,419 SQ. FT.	PROPOSED TOTAL: 7,711 SQ. FT.
BUILDING LOT COVERAGE-EXISTING:	.77%	
BUILDING LOT COVERAGE-PROPOSED:	1.28%	
MAX. BUILDING HEIGHT ALLOWED:	35'-0"	
MAX. BUILDING HEIGHT PROPOSED:	32'-0"	
CAMA LAND USE CLASSIFICATION:	URBAN	
CAMA AREAS OF CONCERN (AEC):	THIS SITE IS NOT WITHIN A CAMA AEC.	
IMPERVIOUS CALCULATIONS:		
TOTAL SITE IMPERVIOUS AREA:	89,876 SF (14.6% OF SITE)	
EXIST. IMPERVIOUS AREA (WITHIN PROJECT LIMITS TO BE DEMOLISHED):	1,795 SF (0.29% OF SITE)	
TOTAL PROPOSED IMPERVIOUS AREA (WITHIN PROJECT LIMITS):	7,932 SF (9,726 SF - 1,795) (1.28% OF SITE)	
PRE DEVELOPMENT IMPERVIOUS AREA:	2.06 AC. (14.6% OF SITE)	
POST DEVELOPMENT IMPERVIOUS AREA:	2.24 AC. (15.8% OF SITE)	
PARKING REQUIREMENTS:		
PARKING CODE MINIMUM:	1 SPACE PER 400 SF (BUILDING) 7889 S.F. / 400 S.F. = 20 SPACES	
PARKING CODE MAXIMUM:	1 SPACE PER 200 SF (BUILDING) 7889 S.F. / 200 S.F. = 40 SPACES	
EXISTING PARKING SPACES =	77 SPACES	
NEW PARKING SPACES =	NONE REQUIRED	
TOTAL SPACES PROVIDED =	77 SPACES	
BICYCLE PARKING REQUIREMENTS:		
BICYCLE PARKING CODE:	5 BICYCLE PARKING SPACES FOR 25 OR MORE AUTO PARKING SPACES.	
NEW AUTO PARKING SPACES =	NONE	
BICYCLE PARKING REQUIRED =	NONE	
BICYCLE PARKING PROVIDED =	NONE	

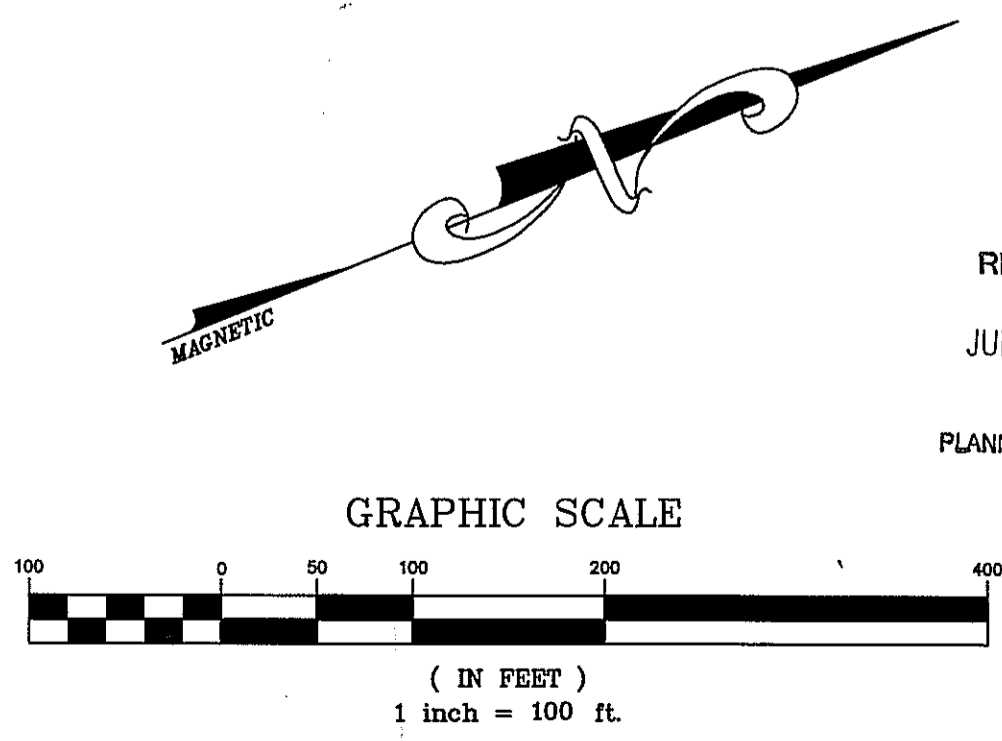
INDEX OF DRAWINGS

CIVIL	
C100	OVERALL SITE PLAN-COVER SHEET
C101	SITE STAKING PLAN
C201	EXISTING CONDITIONS AND DEMOLITION PLAN
C301	GRADING PLAN
C501	UTILITY PLAN
C601	OVERALL LANDSCAPE PLAN
C602	LANDSCAPE PLAN
C701	SITE DETAILS
C702	SITE DETAILS
C703	SITE DETAILS
ARCHITECTURAL	
A2.0	EXTERIOR ELEVATIONS

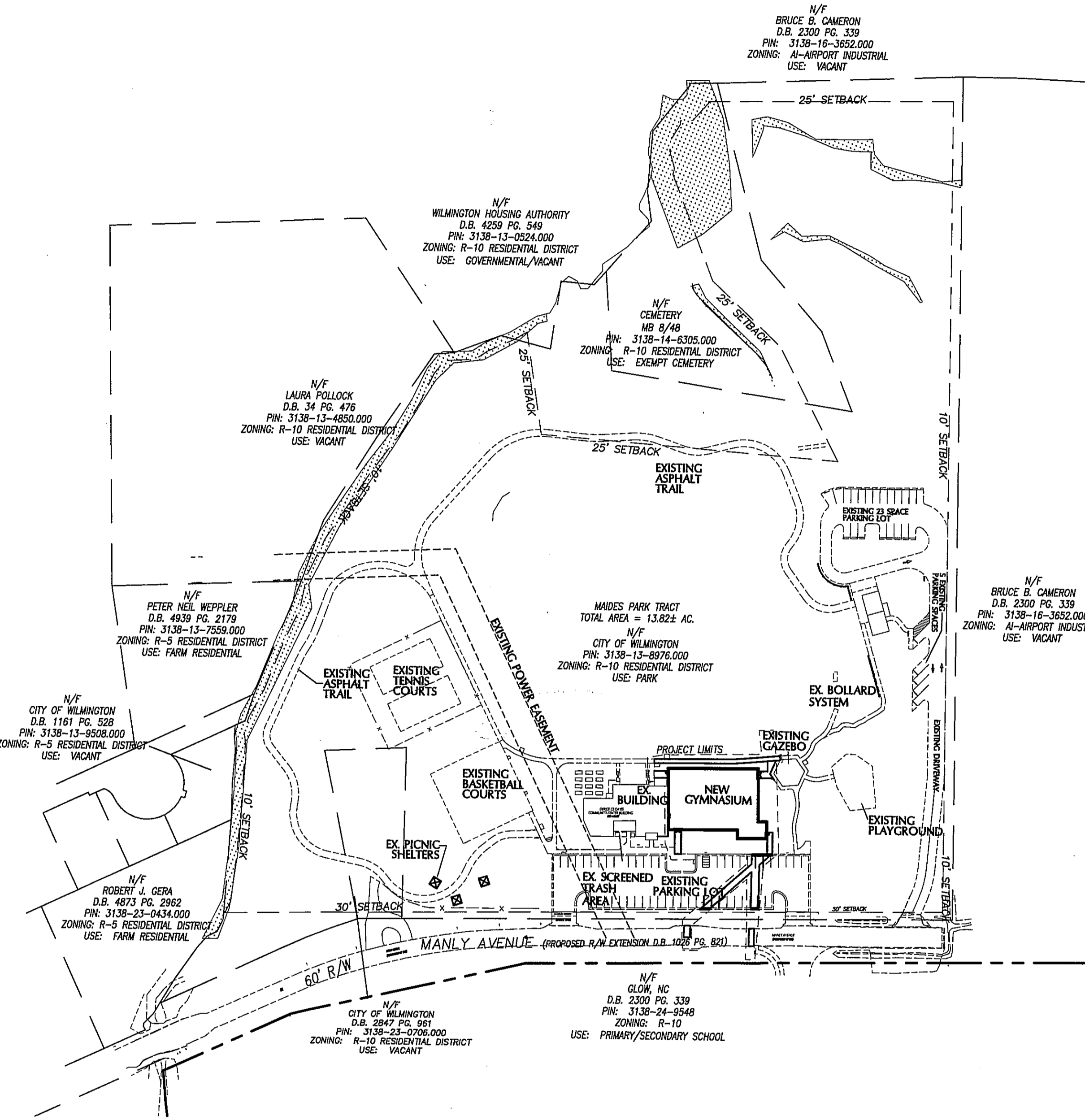
LESS THAN 10,000 SF IMPERVIOUS SURFACE AREA IS PROPOSED FOR THIS PROJECT, THEREFORE A FULL STORMWATER PLAN REVIEW FOR THIS PROJECT IS NOT REQUIRED. A DRAINAGE PLAN REVIEW BE REQUIRED.

A TREE REMOVAL/PRESERVATION PERMIT IS REQUIRED PRIOR TO REMOVING ANY TREES. CONTRACTOR SHALL OBTAIN & COMPLETE PERMIT. CONTACT CITY OF WILMINGTON ZONING DEPARTMENT TO OBTAIN COPY OF PERMIT.

APPROVED CONSTRUCTION PLAN		
	NAME	DATE
PLANNING	_____	_____
TRAFFIC	_____	_____
FIRE	_____	_____

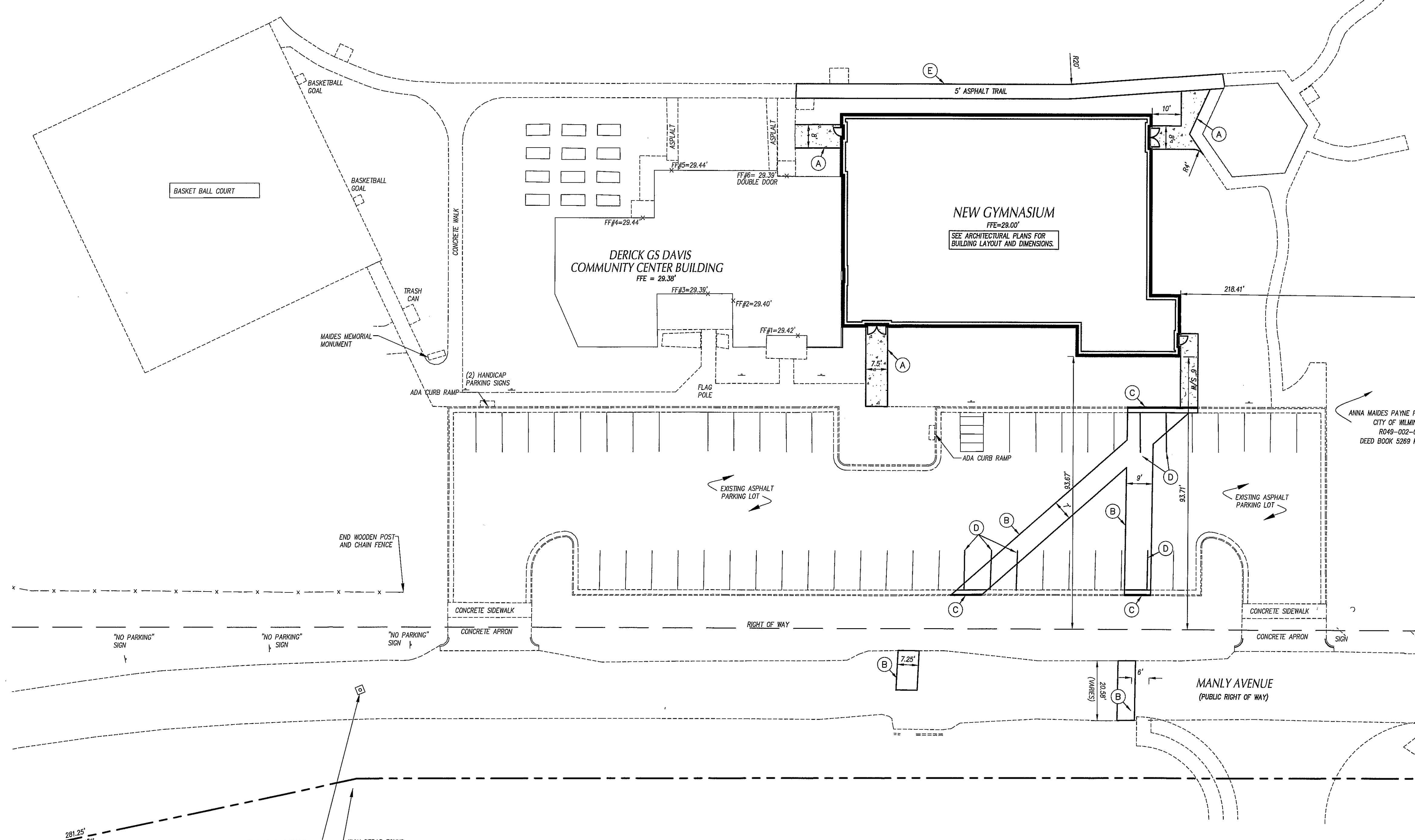


RECEIVED
JUN 21 2019
PLANNING DIVISION



CITY OF WILMINGTON NOTES

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING REGARDING THE INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 910.341.7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- CALL TRAFFIC ENGINEERING AT 910.341.7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITH THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS & CURBING WILL BE REPLACED.
- CONTACT TRAFFIC ENGINEERING AT 910.341.7888 TO DISCUSS STREET LIGHT OPTIONS.
- WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910.343.3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRED CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USDFCCHOR OR ASSE.
- CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910.341.0696.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1.800.632.4949 PRIOR TO DOING ANY DIGGING, CLEARING OR GRADING.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
- PERMITTING OF BUSINESS IDENTIFICATION SIGNAGE IS A SEPARATE PROCESS. NCDOT/CITY OF WILMINGTON WILL NOT ALLOW OBSTRUCTIONS WITHIN THE RIGHT OF WAY.



SITE DATA

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OWNER:	CITY OF WILMINGTON		
DEVELOPER/APPLICANT CONTACT:	RYAN O'REILLY PARKS LANDSCAPE AND FORESTRY MANAGER COMMUNITY SERVICES, PARKS AND RECREATION DIVISION 1702 BURNETT BOULEVARD WILMINGTON, NC 28405 910-341-7818		
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DESIGNER CONTACT:	RENEE PFEIFER REGENCY PARK 400 REGENCY FOREST DR., STE. 120 CARY, NC 27518 PHONE: 919-319-6716 FAX: 919-678-3170		
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TAX PIN:	3138-13-8976.000		
ZONING:	R-10		
OVERLAY DISTRICT:	NONE		
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PROPOSED USE:	MUNICIPAL PARK & RECREATION AREA		
TRACT AREA:	14.16 ACRES		
DISTURBED AREA:	0.45 ACRES		
FLOODPLAIN:	SITE IS NOT WITHIN A FLOODPLAIN (REF: MAP 3720313800J DATED AUG. 28, 2018)		
THERE ARE NO WETLANDS ON THIS SITE. THERE ARE NO ENDANGERED SPECIES OR HABITATS ON THIS SITE.			
BUILDING SETBACKS:	REQUIRED	PROVIDED	
FRONT	30'	93.79'	
REAR	25'	445 FEET	
INTERIOR SIDE	10'	218.41' (NORTH)	
CORNER SIDE	15'		
TYPE OF CONSTRUCTION:	IIB		
NUMBER OF PROPOSED BUILDINGS:	1		
NUMBER OF FLOORS ON PROPOSED BUILDING:	1		
GROSS FLOOR AREA:	EXISTING: 4,419 SQ. FT.	PROPOSED TOTAL: 7,711 SQ. FT.	
BUILDING LOT COVERAGE-EXISTING:	.77%		
BUILDING LOT COVERAGE-PROPOSED:	1.25%		
MAX. BUILDING HEIGHT ALLOWED:	35'-0"		
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TOTAL SITE IMPERVIOUS AREA:	89,876 SF (14.6% OF SITE)		
EXIST. IMPERVIOUS AREA (WITHIN PROJECT LIMITS TO BE DEMOLISHED):	1,795 SF (0.29% OF SITE)		
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PRE DEVELOPMENT IMPERVIOUS AREA:	2.06 AC. (14.6% OF SITE)		
POST DEVELOPMENT IMPERVIOUS AREA:	2.24 AC. (15.8% OF SITE)		
PARKING REQUIREMENTS:			
PARKING CODE MINIMUM:	1 SPACE PER 400 SF (BUILDING) 7869 S.F. / 400 S.F. = 20 SPACES		
PARKING CODE MAXIMUM:	1 SPACE PER 200 SF (BUILDING) 7869 S.F. / 200 S.F. = 40 SPACES		
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TOTAL SPACES PROVIDED =	77 SPACES		
BICYCLE PARKING REQUIREMENTS:			
BICYCLE PARKING CODE:	5 BICYCLE PARKING SPACES FOR 25 OR MORE AUTO PARKING SPACES.		
NEW AUTO PARKING SPACES =	NONE		
BICYCLE PARKING REQUIRED =	NONE		
BICYCLE PARKING PROVIDED =	NONE		

GENERAL NOTES

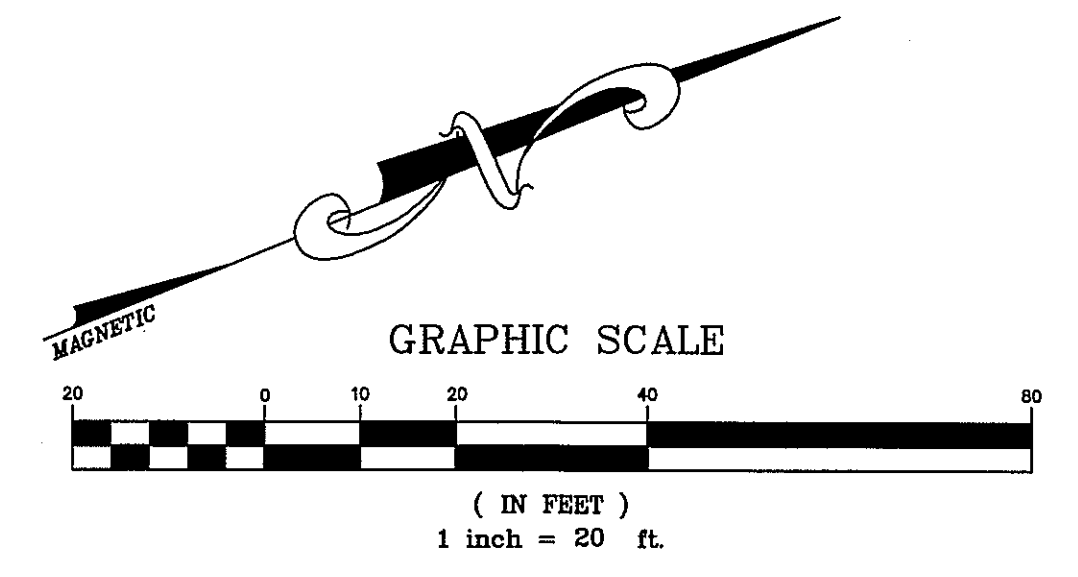
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB AND FACE OF BUILDING WALL, UNLESS OTHERWISE SHOWN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS SHOWN AND CONTACT THE ARCHITECT IF ANY DISCREPANCIES OCCUR.
- CONSTRUCTION STAKE OUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- ALL FACE OF RADIUS' ARE 4 FT UNLESS OTHERWISE SHOWN.
- ALL PARKING SPACES SHALL BE 9' WIDE X 18 FT DEEP MIN.
- (AC) DENOTES ACCESSIBLE PARKING SPACE.
- (VAC) DENOTES VAN ACCESSIBLE PARKING SPACE.
- ANY AND ALL LANDSCAPING, EXISTING TREES OR SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL SUBMIT SCALED PLANS OF ALL SCORING/JOINTS FOR APPROVAL BY ARCHITECT 30 DAYS MINIMUM PRIOR TO INSTALLATION.
- THE CROSS-SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 2.0%
- NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.

KEY NOTES

- (A) CONCRETE SIDEWALK, SEE DETAIL SHEET C702.
- (B) PAVEMENT REPAIR-UTILITY CUTS, SEE DETAIL SHEET C702.
- (C) 24" CURB & GUTTER, SEE DETAIL SHEET C702.
- (D) PARKING SPACE STRIPING, SEE TRAFFIC CONTROL NOTES THIS SHEET.
- (E) ASPHALT TRAIL, SEE DETAIL SHEET C702.

TRAFFIC CONTROL NOTES

- ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND NCDOT STANDARDS AND THE PROJECT SPECIFICATIONS.
- | MARKING | NCDOT STD. | SIZE | COLOR |
|----------------|------------|------|-------|
| PARKING SPACES | - | 4-IN | WHT. |
- ALL PARKING SPACE LINES WHICH SHALL BE ALKYD-RESIN TYPE PAINT.



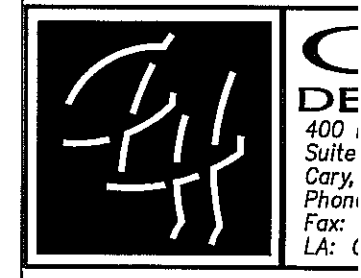
WILMINGTON, INC.
NON-PROFIT CORPORATION
WITH CREEK LAND LLC
906-001-029-999
70K 6168 PAGE 297

GLOW WILMINGTON, INC.
A NORTH CAROLINA NON-PROFIT CORPORATION
TRACT C-1 SMITH CREEK LAND LLC
RD4906-001-029-999
MAP BOOK 6168 PAGE 297

TEMPORARY BENCHMARK
CENTERSTONE
N = 1637573.0500"
E = 2,332,206.9300"
EL = 28.27'

**S A W Y
SHERWOOD
& ASSOC
ARCHITECT**

124 Market St, Wilmington
910 762-0892



PRELIMINARY
NOT FOR
CONSTRUCTION

**GYMNASIUM
ADDITION**
1101 MANLY AVE
Wilmington, NC

CITY OF WILMINGTON
MINOR SITE PLAN S
06-21-2019

Revisions:

STAKING

C101

LEGEND

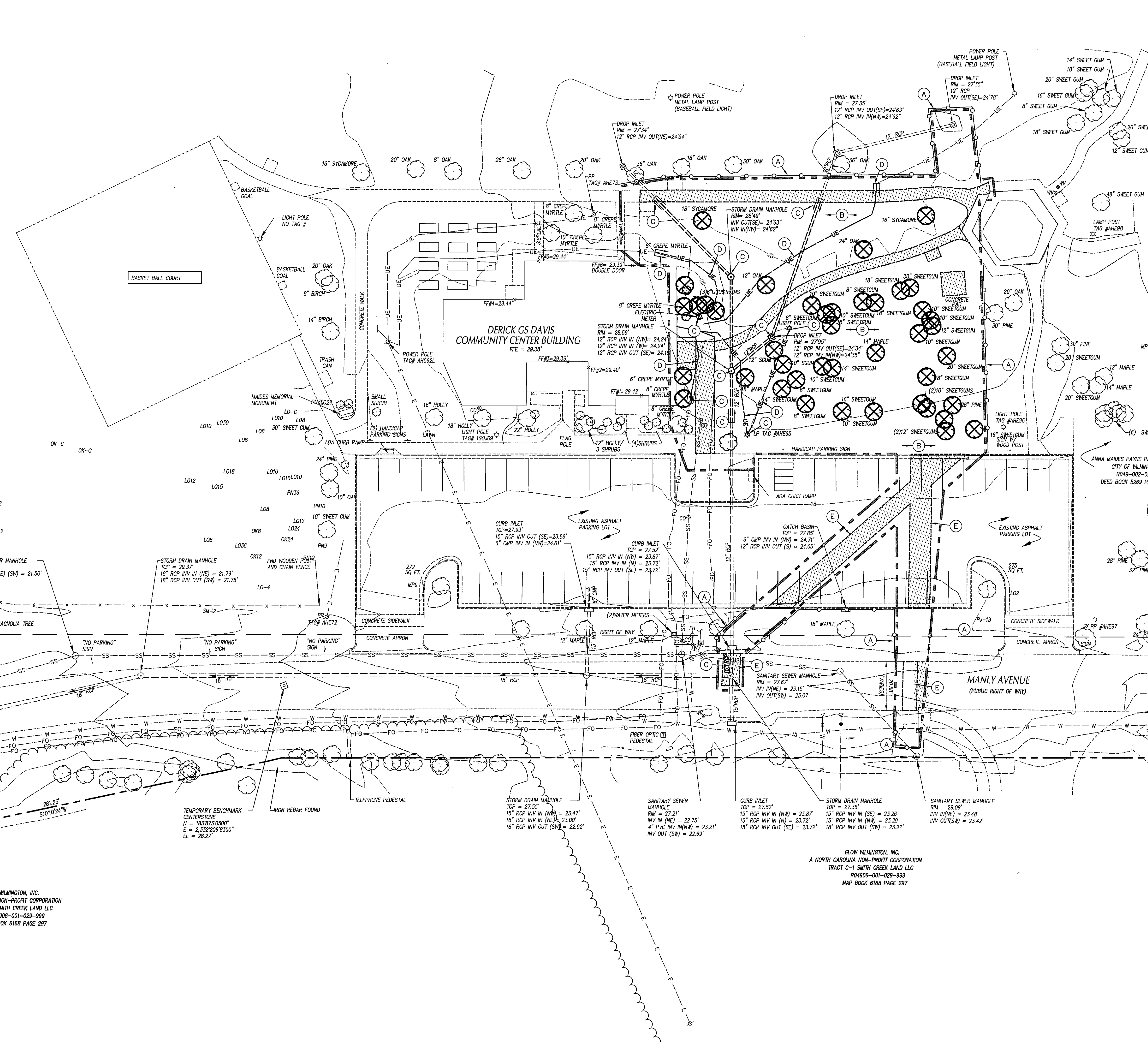
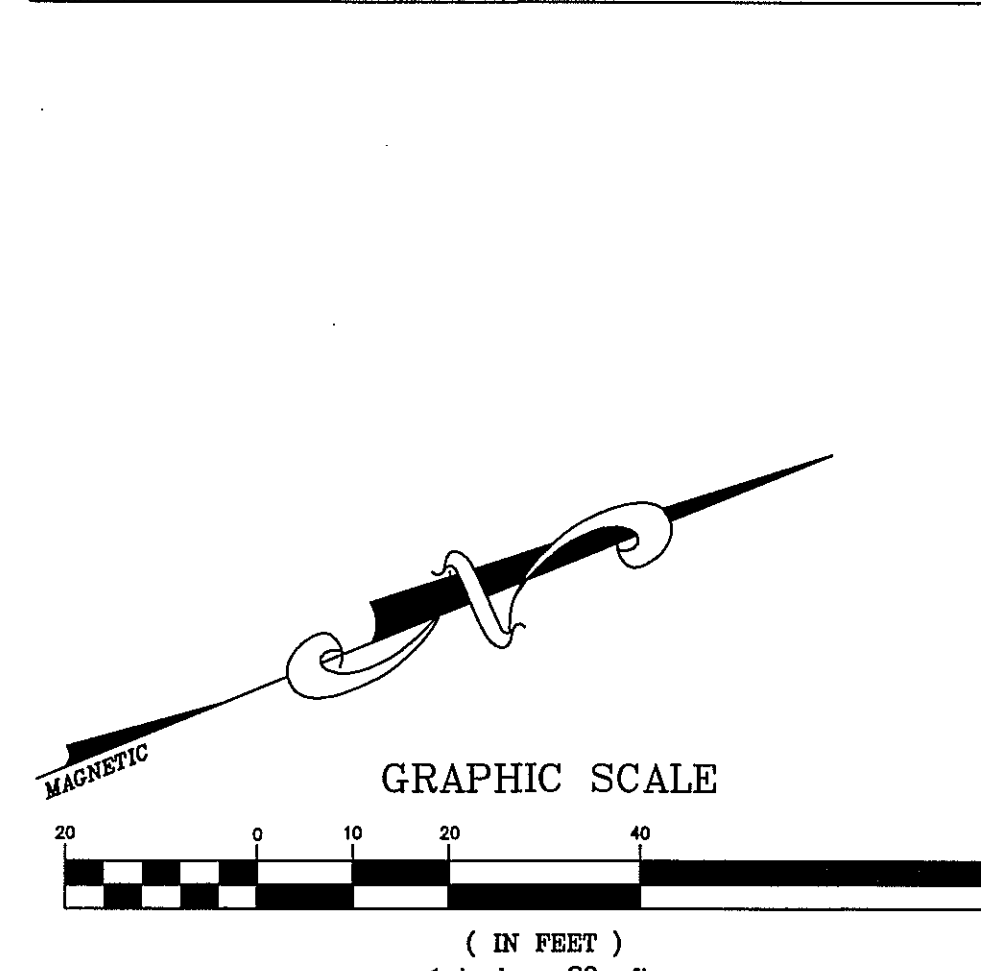
STRUCTURES/UTILITIES TO BE REMOVED	STRUCTURES/UTILITIES TO REMAIN
OVERHEAD ELECTRICAL	OVERHEAD ELECTRICAL
UNDERGROUND ELECTRICAL	UNDERGROUND ELECTRICAL
FIRE PROTECTION	FIRE PROTECTION
GAS	GAS
SANITARY SEWER	SANITARY SEWER
TELEPHONE	TELEPHONE
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
FIBER OPTIC	FIBER OPTIC
WATER	WATER
FORCE MAIN	FORCE MAIN
STORM DRAIN	STORM DRAIN
INDIVIDUAL TREE TO BE REMOVED	INDIVIDUAL TREE TO REMAIN
LIGHT POLE	LIGHT POLE
UTILITY POLE	UTILITY POLE
MANHOLE	MANHOLE
CLEAN OUT	CLEAN OUT
DROP INLET/CATCH BASIN	DROP INLET/CATCH BASIN
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
CONSTR./CLEARING LIMITS	PAVEMENT, S/W, C&G TO BE REMOVED
TREE PROTECTION FENCE	BUILDING/STRUCTURE TO BE REMOVED. SEE ARCHITECTURAL PLANS.

GENERAL NOTES

- ALL EXISTING STRUCTURES AND UTILITIES SHALL BE REMOVED AS NEEDED TO ALLOW NEW CONSTRUCTION. IN GENERAL, FEATURES INDICATED IN BOLD ON THIS PLAN SHALL BE REMOVED.
- ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT FOR NEW PAVEMENT, SIDEWALK, OR CURB AND GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH PRE-CONSTRUCTION CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED).
- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
- ALL WASTE MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
- EXISTING SITE BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION WAS TAKEN FROM SURVEY BY CITY OF WILMINGTON PETER J. BRENNAN, CITY SURVEYOR, PERFORMED 4/29/2019. THESE PLANS DO NOT ASSUME ANY LIABILITY FOR ANY EXISTING INFORMATION BOTH SHOWN AND NOT SHOWN ON THE SURVEY AND ANY CHANGES TO THE EXISTING CONDITIONS THAT MAY HAVE OCCURRED AFTER THE SURVEY WAS ISSUED. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
- INSTALL TREE PROTECTION FENCING PRIOR TO BEGINNING CLEARING OPERATIONS. CLEAR AND GRUB ALL AREAS AS SHOWN AND REQUIRED TO PERMIT INSTALLATION OF NEW CONSTRUCTION PER SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL WHICH WILL CONFLICT WITH NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS). ALL CONTRACTORS SHALL VISIT THE SITE AND OBSERVE EXISTING CONDITIONS PRIOR TO BIDDING.
- TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE INTERIOR EDGE OF CLEARING LIMITS, THE CONTRACTOR SHALL CUT 2-FT DEEP TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT, RATHER THAN TEAR ROOTS.
- PRIOR TO DEMOLISHING EXISTING STRUCTURES, MAKE AN INSPECTION FOR ANY HAZARDOUS MATERIALS. CONTACT ARCHITECT IMMEDIATELY IF ANY HAZARDOUS MATERIALS ARE DISCOVERED. CAP AND REMOVE UTILITY SERVICES, FUEL TANKS AND SEPTIC SYSTEMS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
- VERIFY ALL ILLUSTRATED UNDERGROUND ELEMENTS/UTILITIES. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS/UTILITIES. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS/UTILITIES ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
- CONTACT UTILITY LOCATING SERVICE AT LEAST 48-HRS PRIOR TO EXCAVATION.
- PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, REPAIR IMMEDIATELY AS DIRECTED BY THE ARCHITECT.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISH GRADE.
- DEMOLITION AND PATCHING OF PAVEMENT, SIDEWALK, CURB AND GUTTER AND OTHER EXISTING PAVED SURFACES IN ADDITION TO THAT INDICATED ON THIS PLAN SHALL BE PERFORMED AS REQUIRED TO CONSTRUCT AND INSTALL NEW UTILITIES. ALL SUCH DEMOLITION AND PATCHING SHALL BE INCLUDED IN THE BASE BID SCOPE OF WORK. SEE SHEET ___ FOR PAVEMENT REPAIR DETAILS.
- THIS SITE IS/IS NOT LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS AS DETERMINED BY FEMA AND DEPICTED ON F.I.R.M. MAP 3720313800A, DATED AUG. 28, 2018 AS BEING WITHIN ZONE "X"-OTHER AREA.
- NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.

KEY NOTES

- (A) TEMPORARY TREE PROTECTION FENCE, SEE DETAIL SHEET C701.
- (B) CLEAR AND GRUB, STRIP TOPSOIL WITHIN CONSTRUCTION LIMITS.
- (C) REMOVE STRUCTURE/UTILITY.
- (D) EXISTING UTILITY LINE/STRUCTURE TO BE REMOVED/RELOCATED BY LOCAL UTILITY COMPANY. LOCAL UTILITY COMPANY SHALL DETERMINE THE LIMITS AND EXTENT OF REMOVAL/RELOCATION OF UTILITIES REQUIRED FOR NEW CONSTRUCTION. COORDINATE SCHEDULE AND WORK WITH LOCAL UTILITY COMPANY AND ARCHITECT/OWNER.
- (E) SAWCUT AND REMOVE PAVEMENT.



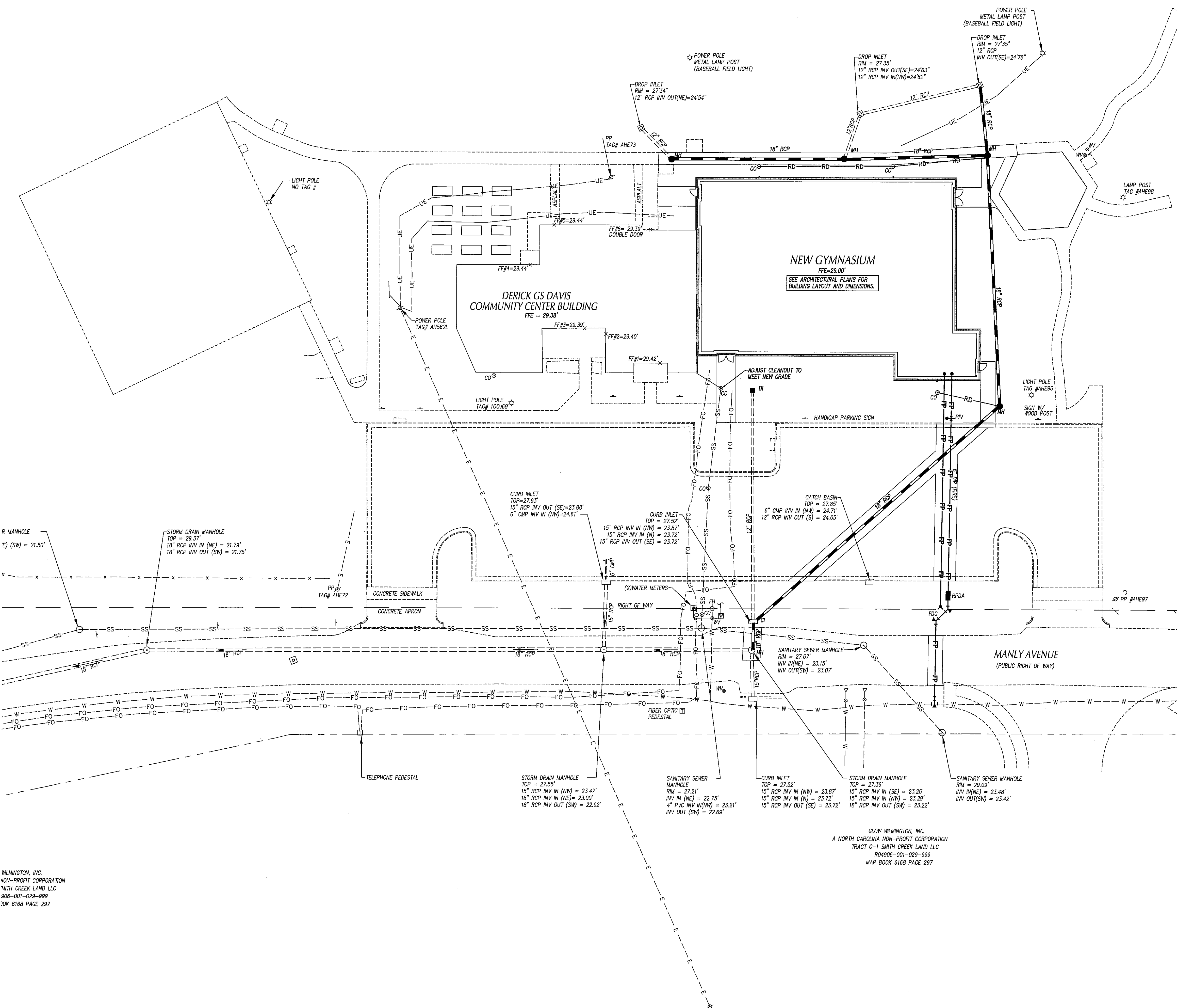
GLOW WILMINGTON, INC.
A NORTH CAROLINA NON-PROFIT CORPORATION
TRACT C-1 SMITH CREEK LAND LLC
RD4506-001-029-999
MAP BOOK 6168 PAGE 297

GENERAL NOTES-UTILITY

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.
2. INSTALL WATERMANS WITH A COVER OF NO LESS THAN 3-FT.
3. INSTALL ALL UTILITIES TO PROVIDE REQUIRED CLEARANCES AS INDICATED IN THE SPECIFICATIONS.
4. WATERLINES AND SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL CLEARANCE OF 10-FT.
5. COORDINATE AND SCHEDULE INSTALLATION OF ALL UTILITIES WITH OTHER PRIME CONTRACTORS, UTILITY COMPANIES AND OTHER TRADES INCLUDING BUT NOT LIMITED TO: NATURAL GAS, ELECTRICITY, TELEPHONE AND CATV.
6. VERIFY EXISTING CONDITIONS AND CONNECTIONS TO EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED.
7. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT NO EXPENSE TO THE OWNER.
8. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE NCSBG AND OSHA REQUIREMENTS.
9. THE CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY OF ALL UTILITY AND STORM DRAINAGE IMPROVEMENTS FOLLOWING CONSTRUCTION.
10. CONTRACTOR SHALL PHASE DEMOLITION AND NEW CONSTRUCTION TO ENSURE UNINTERRUPTED ACCESS AND UTILITY SERVICE TO ADJACENT FACILITIES. COORDINATE SHORT-TERM, OFF-HOUR, TEMPORARY SHUT-DOWNS WITH THE OWNER.
11. SEE GENERAL NOTES ON EXISTING CONDITIONS AND DEMOLITION PLAN FOR REQUIREMENTS FOR REMOVAL AND PATCHING OF PAVEMENT FOR UTILITY INSTALLATION.
12. ALL ROOF DRAINS SHALL BE 6" PVC (SCH 40) @ 1.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24-IN.
13. ALL CONDENSATE LINES SHALL BE CONNECTED TO STORM DRAINAGE SYSTEM.
14. NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.

UTILITY LEGEND

	EXISTING	PROPOSED
CHILLED WATER	--- CW ---	--- CW ---
ELECTRICAL (OVERHEAD)	--- E ---	--- E ---
ELECTRICAL (UNDERGROUND)	--- UE ---	--- UE ---
FOUNDATION DRAIN	--- FD ---	--- FD ---
GAS	--- G ---	--- G ---
SANITARY SEWER	--- SS ---	--- SS ---
TELEPHONE (OVERHEAD)	--- T ---	--- T ---
TELEPHONE (UNDERGROUND)	--- UT ---	--- UT ---
WATER	--- W ---	--- W ---
ROOF DRAIN	--- RD ---	--- RD ---
FIRE PROTECTION	--- FP ---	--- FP ---
STORM DRAIN	--- SD ---	--- SD ---
TREE PROTECTION FENCING, SEE EROSION CONTROL PLANS	--- TPF ---	--- TPF ---
LIGHT POLE	☆ LP	☆ LP
UTILITY POLE	⊙ PP	⊙ PP
MANHOLE	⊙ MH	⊙ MH
CLEAN OUT	⊙ CO	⊙ CO
DROP INLET, CATCH BASIN	⊙ DI, CB	⊙ DI, CB
FIRE HYDRANT	⊙ FH	⊙ FH
WATER VALVE	⊙ WV	⊙ WV
POST INDICATOR VALVE (PIV)	⊙ PIV	⊙ PIV
FIRE DEPARTMENT CONNECTION (FDC)	⊙ FDC	⊙ FDC
THRUST BLOCKING	⊙ TB	⊙ TB
SANITARY SEWER STRUCTURE IDENTIFICATION	⊙ SSI	⊙ SSI



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PRELIMINARY NOT FOR CONSTRUCTION

GYMNASIUM ADDITION
 1101 MANLY AVE
 Wilmington, NC, 28401

CITY OF WILMINGTON
 MINOR SITE PLAN SUBM
 06-21-2019

Revisions:

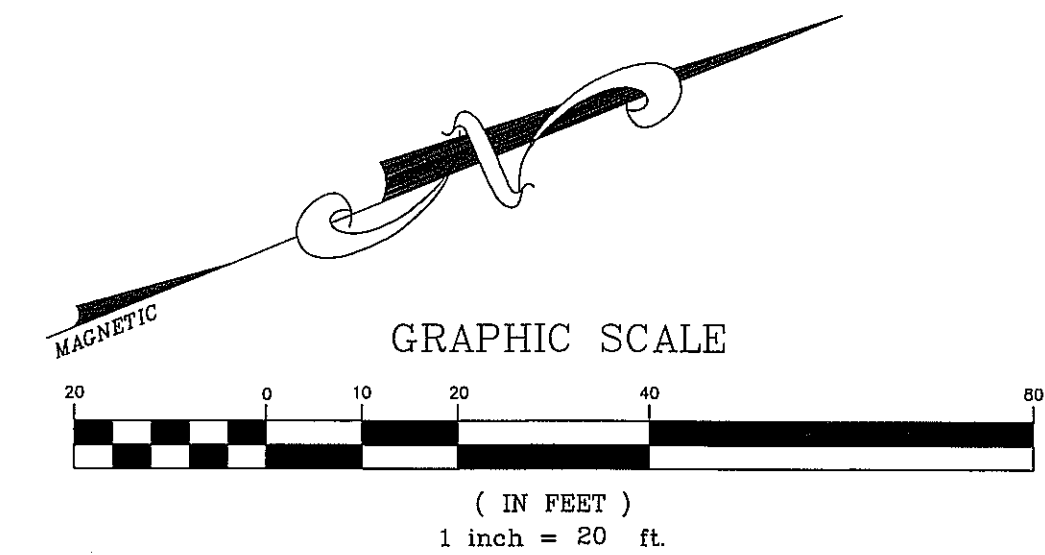
UTILITY PLAN

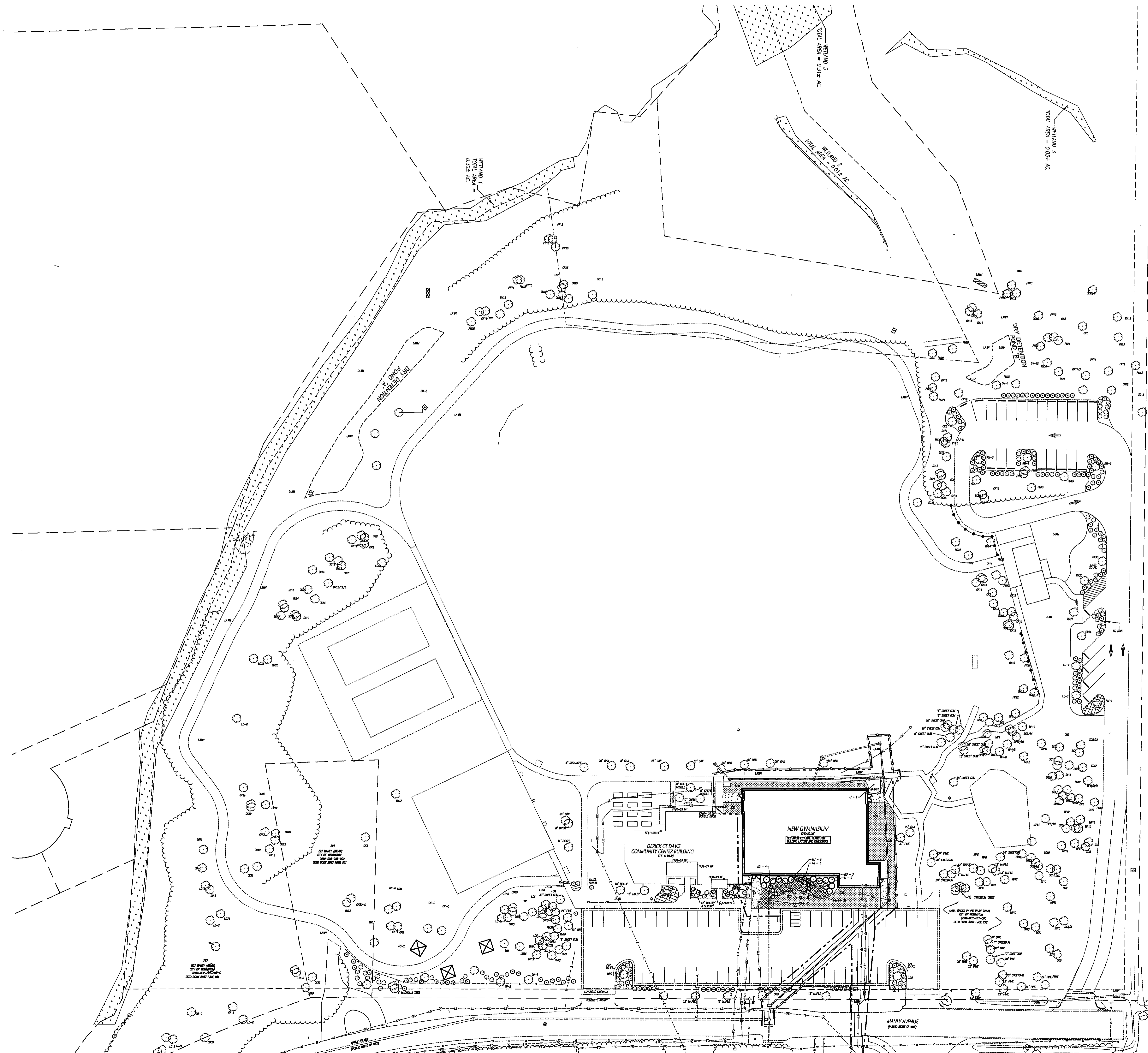
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WILMINGTON, INC.
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 906-001-029-999
 20K 6168 PAGE 297

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 TRACT C-1 SMITH CREEK LAND LLC
 R04906-001-029-999
 MAP BOOK 6168 PAGE 297





PARK SITE LANDSCAPE CALCULATIONS

STREET YARD REQUIREMENTS:
 STREET YARD MULTIPLIER = 18
 MINIMUM STANDARD: 1 CANOPY TREE (2.5" CAL. MIN.)
 6 SHRUBS (12" HT. MIN.)
 600 SQ. FT. OF STREETYARD

STREET YARD: MANLY AVENUE
 WIDTH: 18' MAX.
 LINEAR STREET FRONTAGE = 747 LF
 STREET YARD AREA: 8,954 SQ. FT.
 PLANTINGS REQUIRED: 15 CANOPY TREES
 90 SHRUBS

PLANTINGS PROVIDED: EXISTING TREES AND SHRUBS TO SATISFY CANOPY TREE REQUIREMENT.

EXISTING TREE CREDITS:

6" MAPLE	= 2 CR.
8" MAPLE	= 2 CR.
9" MAPLE	= 2 CR.
10" MAPLE	= 2 CR.
12" MAPLE	= 4 CR.
36" LIVE OAK	= 6 CR.
TOTAL:	= 17 CR.

***NOTE: EXISTING TREES TO BE USED FOR TREE CREDIT.**

BUFFER PLANTING REQUIREMENTS:
 NO BUFFER PLANTINGS ARE REQUIRED.

PARKING AREA PLANTING REQUIREMENT:

8% INTERIOR LANDSCAPING
 PARKING AREA SQUARE FOOTAGE: 15,000 SQ. FT.
 8% INTERIOR PLANTING AREA: 1,200 SQ. FT.

PARKING REQUIREMENT: 1 TREE PER 200 SQ. FT. OF INTERIOR PLANTING AREA

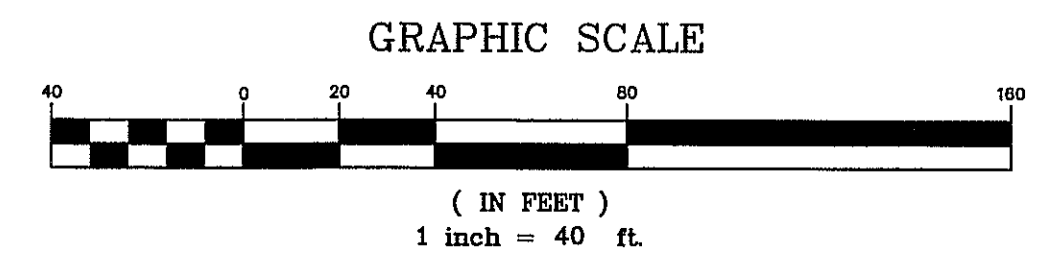
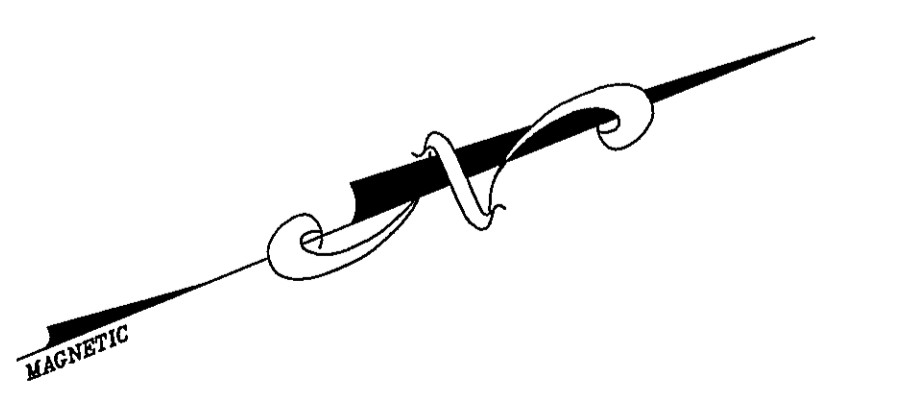
PLANTING REQUIRED: 6 TREES
PLANTING PROVIDED: 6 EXISTING TREES (10 CREDITS)

EXISTING TREE CREDITS:

14" LIVE OAK	= 3 CR.
9" MAPLE	= 2 CR.
2" RED MAPLE(S)	= 3 CR.
8" OAK	= 2 CR.

EXISTING TREE KEY
 XX## - XX = TREE TYPE (SEE KEY)
 ## = SIZE IN INCHES (### = THIN-C = CLUSTER)

BC	BLACK GUM
CH	CHERRY
CM	CREPE MYRTLE
DW	DOGWOOD
LO	LIVE OAK
MP	MAPLE
OK	OAK
FN	PINE
FP	POPLAR
SC	SYCAMORE
SG	SWEET GUM



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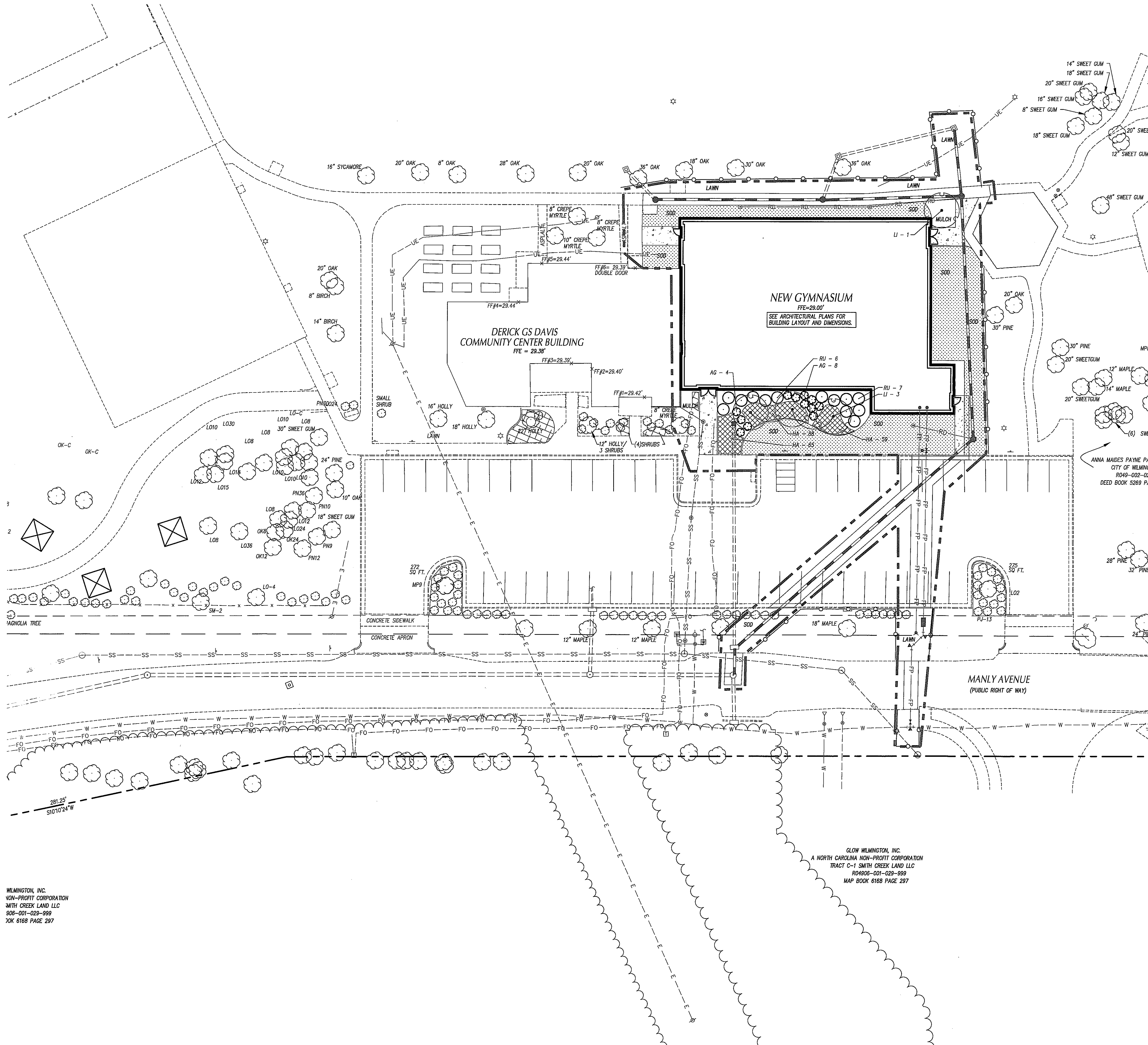
CITY OF WILMINGTON
 MINOR SITE PLAN SUBMITTAL
 06-21-2019

Revisions:

OVERALL LANDSCAPE PLAN

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ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
L1	4	LAGERSTROEMIA INDICA 'CAROLINA BEAUTY' CAROLINA BEAUTY CRAPE MYRTLE	B&B	2.0"	8-10' HT

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
AG	12	ABELIA X GRANDIFLORA 'KALEIDOSCOPE' GLOSSY ABELIA	CONT.	#1	18-24" HT.
RU	13	RHAPHIOLEPIS UMBELLATA YEDDA HAWTHORN	CONT.	#1	36-48" HT.

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
HA	212	HEMEROCALLIS X 'ALWAYS AFTERNOON' LAVENDAR DAYLILY	CONT.	#1	12-15"

GENERAL NOTES-LANDSCAPING

- LOCATE ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PLANT MATERIAL. NOTIFY OWNER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THOSE SHOWN ON THE PLAN.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE TOTAL QUANTITIES SHALL BE AS SHOWN ON THE PLAN.
- ALL PLANT MATERIAL SHALL CONFORM WITH THE STANDARDS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND THE WRITTEN SPECIFICATIONS.
- ALL PLANT MATERIAL (SHRUBS/TREES) SHALL BE A MINIMUM DISTANCE OF 4 1/2 FEET FROM BACK OF CURB, EXCEPT ALONG ANY NEW WALLS ADJACENT TO PARKING WHERE CURB STOPS WILL BE USED. ALL PLANTING BEDS TO BE MULCHED WITH A MINIMUM OF 3" OF MULCH.
- ALL PLANT MATERIAL SHALL BE MULCHED AS ONE BED. 3" OF DYED BROWN DOUBLE SHREDDED HARDWOOD MULCH SHALL BE USED AROUND ALL PLANTINGS WITH THE EXCEPTION OF BUFFER PLANTINGS.
- APPLY PRE-EMERGENT HERBICIDE TO ALL NEW PLANTING BEDS AT MANUFACTURER'S RECOMMENDED RATE PRIOR TO INSTALLATION OF MULCH.
- ESTABLISH POSITIVE DRAINAGE IN ALL PLANTING BEDS AND AWAY FROM BUILDINGS.
- DO NOT INSTALL PLANT MATERIAL IN IMPERVIOUS SOILS. I.e. HOLES WHICH, WHEN FILLED WITH WATER, DO NOT COMPLETELY DRAIN WITHIN TWO HOURS.) SEE SPECIFICATIONS FOR TOPSOIL REQUIREMENTS.
- LAWN AREAS SHALL BE SEEDED WITH RIVERA OR SUNSTAR BERMUDA GRASS 95% COVERAGE (BASED ON A PER SQUARE YARD SAMPLE) SHALL BE ATTAINED PRIOR TO FINAL INSPECTION. SEE DETAIL SHEET FOR RATES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- CONTACT THE LANDSCAPE ARCHITECT FOR INSPECTION 48 HOURS IN ADVANCE OF THE SCHEDULED SITE VISIT AND AT THE FOLLOWING INTERVALS:
 - REVIEW OF GRADING PRIOR TO PLANT AND LAWN INSTALLATION
 - REVIEW OF PLANT MATERIAL PRIOR TO INSTALLATION
 - ONE SUBSTANTIAL COMPLETION MEETING FOR PLANT INSTALLATION
 - ONE FINAL INSPECTION FOR ALL SEEDING/PLANTING OPERATIONS
- THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.
- LANDSCAPE SUB-CONTRACTOR (UNDER GC CONTRACT) SHALL BE RESPONSIBLE FOR WATERING ALL PLANTS AND LAWN AREAS AT HIS COST FROM HIS OWN WATER SOURCE INCLUDING PERIODS OF DROUGHT UNTIL THE PLANTS AND LAWN MEET FINAL COMPLETION. PLANT MATERIALS OR AREAS OF GRASS WHICH PERISH SHALL BE RE-ESTABLISHED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL EQUIPMENT & SUBCONTRACTORS AWAY FROM SEEDED AREAS. IF DAMAGE OCCURS THROUGH NO FAULT OF HIS OWN AREAS SHALL BE REGRADED AND RESEEDED IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL WATER AND MAINTAIN THOSE AREAS UNTIL THEY ARE AT 95% COVERAGE AT FINAL COMPLETION.
- SUBSTITUTIONS OF PLANT MATERIAL SHALL ONLY BE ACCEPTED 60 DAYS PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS. SUBSTITUTION REQUESTS MUST BE IN WRITING AND WILL ONLY BE ACCEPTED FOR LACK OF AVAILABILITY REASONS WHICH CAN BE SUBSTANTIATED OR FOR SUPERIOR STOCK SUBSTITUTIONS.
- LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT TO REVIEW GRADING ONE WEEK PRIOR TO SEEDING. IF THE LANDSCAPE CONTRACTOR AND LANDSCAPE ARCHITECT FIND GRADING UNACCEPTABLE FOR FINAL SEEDING, LANDSCAPE CONTRACTOR SHALL BRING IT TO THE ATTENTION OF THE GENERAL CONTRACTOR. LANDSCAPE CONTRACTOR SHALL NOT PROCEED WITHOUT APPROVAL BY LANDSCAPE ARCHITECT.
- IF CONFLICTS OCCUR BETWEEN WRITTEN SPECIFICATIONS AND THE DRAWINGS, THE WRITTEN SPECIFICATIONS SHALL PREVAIL.
- ALL 3:1 SLOPES SHALL BE STABILIZED WITH 'NO-MOW' NATURALIZED SEED MIX AND EROSION CONTROL MATTING.
- ALL FOUNDATION SHRUBS AND TREES TO BE PLANTED A MINIMUM OF 5-FT FROM BUILDING WALL. NOTIFY LANDSCAPE ARCHITECT FOR ANY DISCREPANCIES.
- INSTALL PERMANENT SEEDING ALONG ALL ROADSIDE DITCHES AND CHANNELS WITHIN CONSTRUCTION LIMITS OF PROJECT. SEE EROSION CONTROL PLANS FOR ADDITIONAL INFORMATION.
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

LANDSCAPE CALCULATIONS

FOUNDATION PLANTING REQUIREMENTS	LANDSCAPING FOR EXPANSION REQUIREMENTS															
REQUIREMENT= AREA OF BUILDING FACE X 12%	EXISTING TREES RETAINED:															
FOUNDATION PLANTING BUILDING FACE = 124.42 LF. BUILDING HEIGHT = 30.75 FT. BUILDING FACE SQ. = 3826.8 SF PLANTING AREA REQUIRED = 460 SQ. FT. PLANTING AREA PROVIDED = 1028 SQ. FT.	<table border="1"> <thead> <tr> <th>SIZE</th> <th>QTY.</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>2-5" CALIPER</td> <td>1</td> <td>1</td> </tr> <tr> <td>6-11"</td> <td>1</td> <td>2</td> </tr> <tr> <td>12-17"</td> <td>1</td> <td>3</td> </tr> <tr> <td>TOTAL:</td> <td></td> <td>6</td> </tr> </tbody> </table>	SIZE	QTY.	TOTAL	2-5" CALIPER	1	1	6-11"	1	2	12-17"	1	3	TOTAL:		6
SIZE	QTY.	TOTAL														
2-5" CALIPER	1	1														
6-11"	1	2														
12-17"	1	3														
TOTAL:		6														
	15 TREES 2" CALIPER OR GREATER PER ACRE OF DISTURBED LAND ACRES DISTURBED: .46 TREES REQUIRED: 7 TREES															
	EXISTING TREES SAVED: 3 TREES															
	PROPOSED TREES: 4 TREES															

REGULATED TREES REMOVED:

- CRAPE MYRTLE - 6" DBH
- LIGUSTRUMS (3) - 6" DBH
- OAK - 12" DBH
- SWEETGUM (10) - 10" DBH
- SWEETGUM - 6" DBH
- SYCAMORE - 18" DBH
- MAPLE - 18" DBH
- MAPLE - 14" DBH

SIGNIFICANT TREES REMOVED:

- OAK - 24" DBH
- CRAPE MYRTLE (3) - 8" DBH

MITIGATION EXEMPTIONS

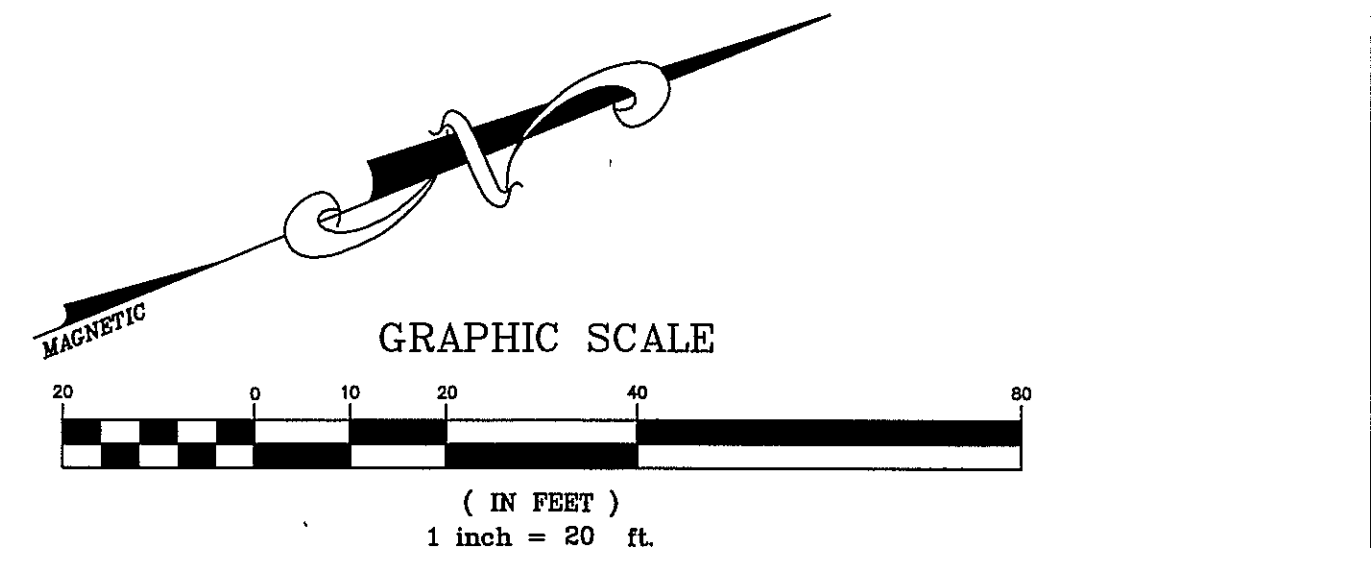
LDO SEC. 12-46(A)(3)(C)

A. PROTECTED TREES REMOVED WITHIN THE FOOTPRINT OF THE LOT COVERAGE ARE EXEMPT FROM MITIGATION, PROVIDED THE TOTAL BUILDING FOOTPRINT DOES NOT EXCEED TWENTY-FIVE(25) PERCENT OF THE TOTAL LOT AREA, AND PROVIDED THAT THE APPLICANT HAS DESIGNATED AROUND TREES IN ORDER TO RETAIN AS MANY TREES AS PRACTICABLE.

B. REGULATED TREES REMOVED WITHIN THE AREA OF DISTURBANCE NECESSARY FOR ESSENTIAL SITE IMPROVEMENTS ARE EXEMPT FROM MITIGATION, PROVIDED THE APPLICANT HAS DESIGNATED AROUND TREES IN ORDER TO RETAIN AS MANY TREES AS PRACTICABLE.

C. PROTECTED TREES THAT ARE REMOVED BY SPADING THE TREES AND PLANTED ELSEWHERE ON THE SITE ARE EXEMPT FROM MITIGATION. ADDITIONALLY, PROTECTED TREES THAT ARE REMOVED BY SPADING AND ACCEPTED BY THE CITY FOR PLANTING ON PUBLIC PROPERTY AT THE LOCATION DESIGNATED BY THE CITY MANAGER ARE EXEMPT FROM MITIGATION. ANY TREE THAT HAS BEEN TRANSPLANTED FOR THE PURPOSE OF THIS SECTION AND THAT BECOMES DISEASED OR DIES WITHIN THREE (3) YEARS OF TRANSPLANTING SHALL BE REPLANTED BY THE PARTY REQUESTING THE EXEMPTION WITH A TREE OF THE SAME SPECIES AND SIZE OR MITIGATED PURSUANT TO THIS ARTICLE.

A TREE REMOVAL/PRESERVATION PERMIT IS REQUIRED PRIOR TO REMOVING ANY TREES. CONTRACTOR SHALL OBTAIN & COMPLETE PERMIT. CONTACT CITY OF WILMINGTON ZONING DEPARTMENT TO OBTAIN COPY OF PERMIT. ENSURE TO PROVIDE COPY OF TREE REMOVAL CHART WITH PERMIT.



WILMINGTON, INC.
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R04808-001-029-999
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Wilmington, NC

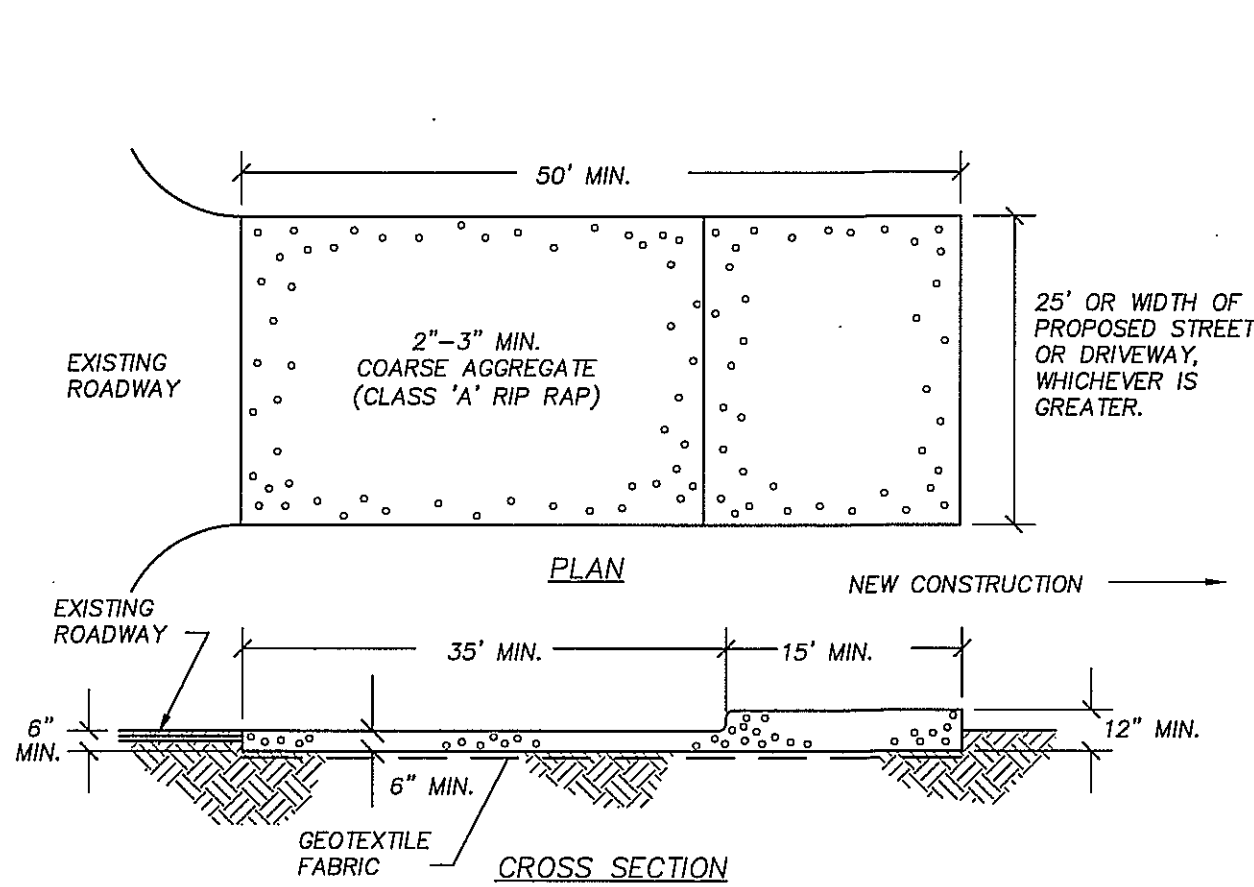
CITY OF WILMINGTON
MINOR SITE PLAN SUBMITTAL
06-21-2019

Revisions:

LANDSCAPE PLAN

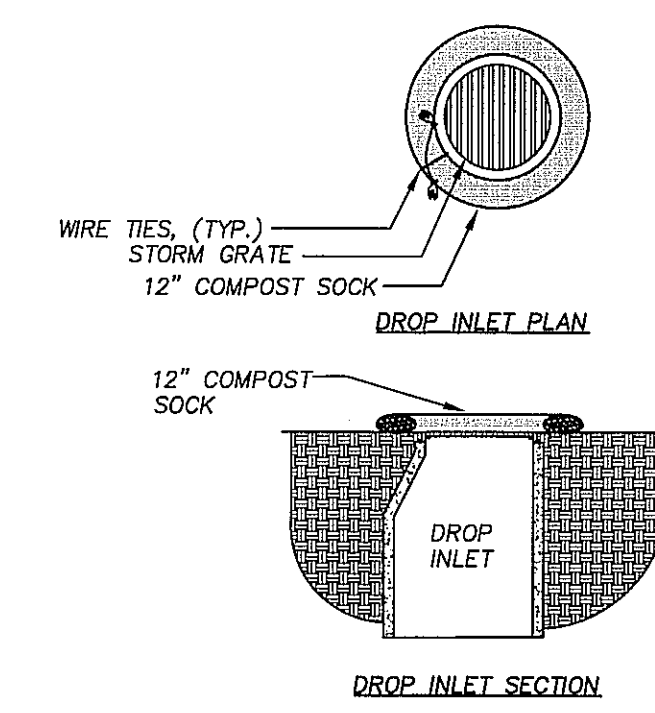
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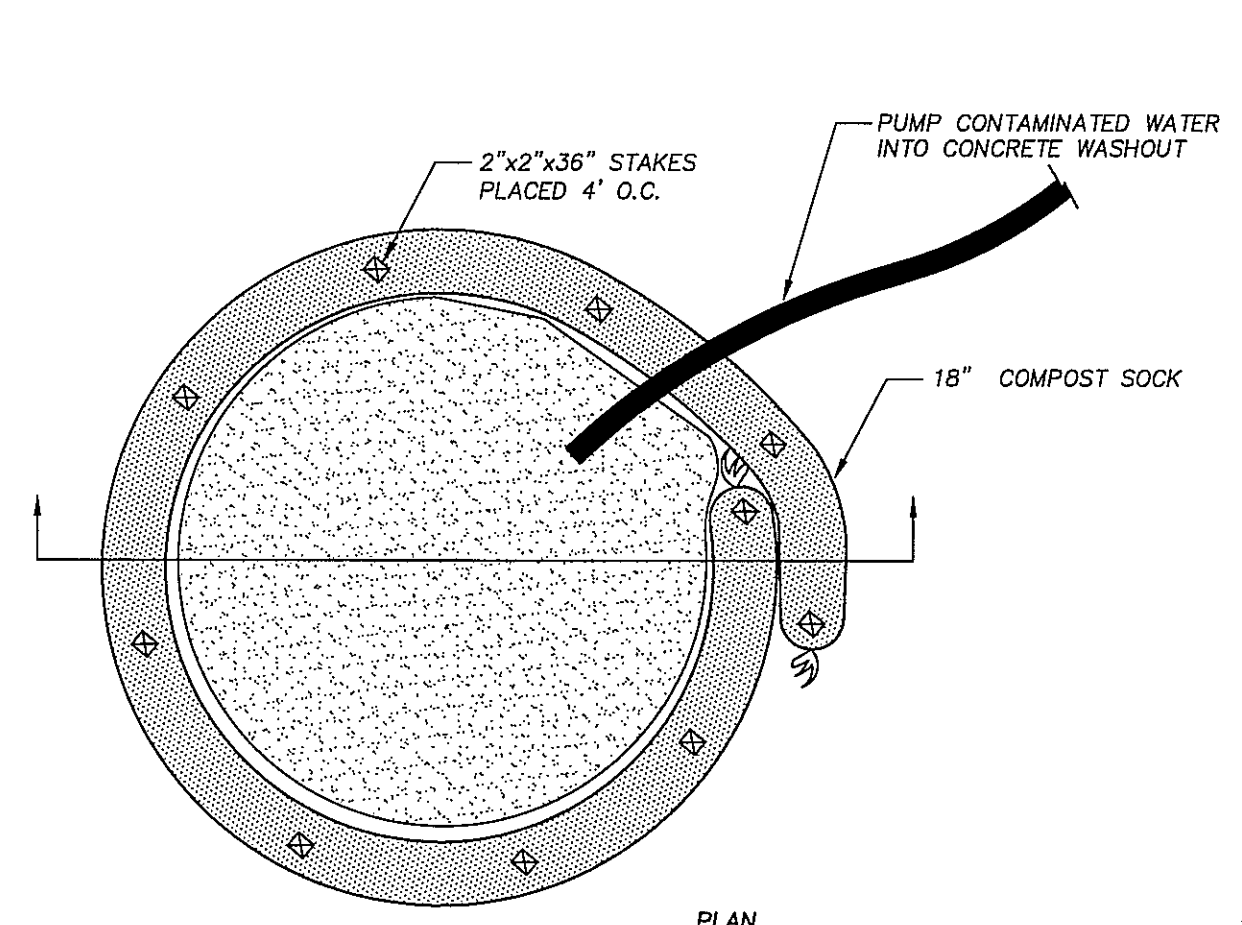
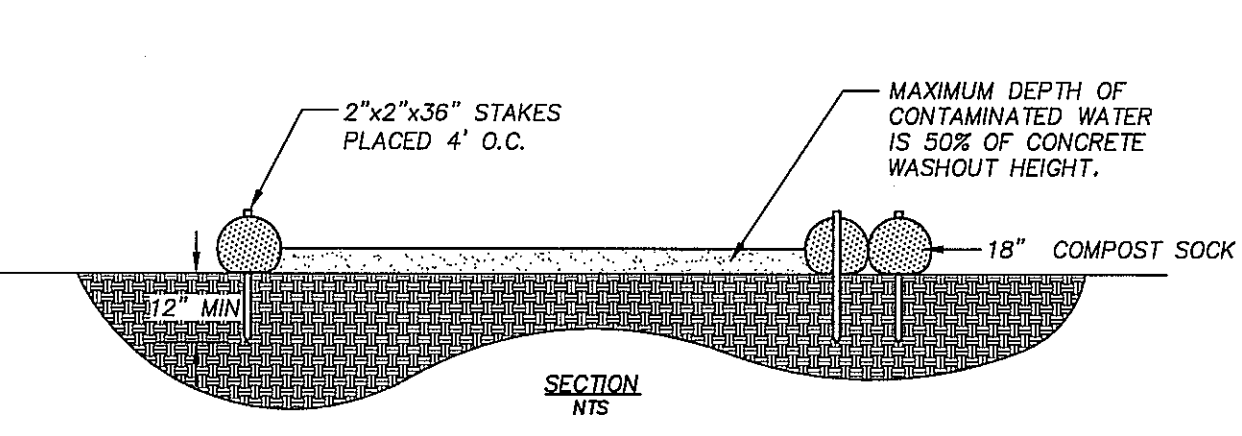
- CONSTRUCTION NOTES:**
- ENTRANCE(S) SHALL BE LOCATED TO PROVIDE MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES.
 - TURNING RADIUS SUFFICIENT TO ACCOMMODATE LARGE TRUCKS SHALL TO BE PROVIDED.
 - ENTRANCES MUST BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR DIRECT FLOW OF MUD ONTO STREETS. PERIODIC TOPDRESSING WITH STONE WILL BE NECESSARY. CONTRACTOR SHALL MAINTAIN AS NECESSARY.
 - ANY MATERIAL WHICH STILL MAKES IT ONTO THE ROAD MUST BE CLEANED UP IMMEDIATELY.
 - FREQUENT CHECKS OF THE ENTRANCE(S) AND TIMELY MAINTENANCE SHALL BE PROVIDED.
 - NOTES ARE APPLICABLE AT ALL POINTS OF INGRESS AND EGRESS UNTIL SITE IS STABILIZED.
- MAINTENANCE NOTES:**
- MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. MAY REQUIRE PERIODIC TOPDRESSING WITH 2-INCH STONE.
 - IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED OR TRACKED ONTO PUBLE ROADWAYS.

CONSTRUCTION ENTRANCE N.T.S.



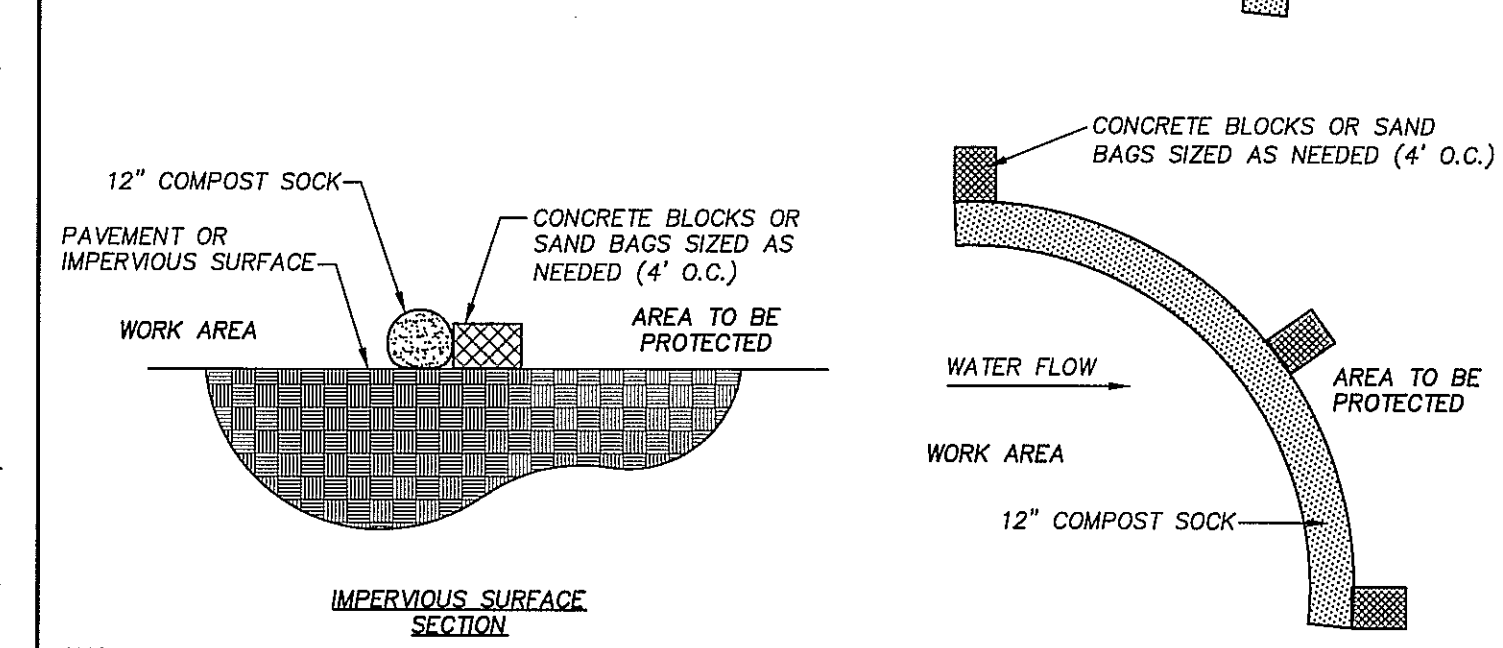
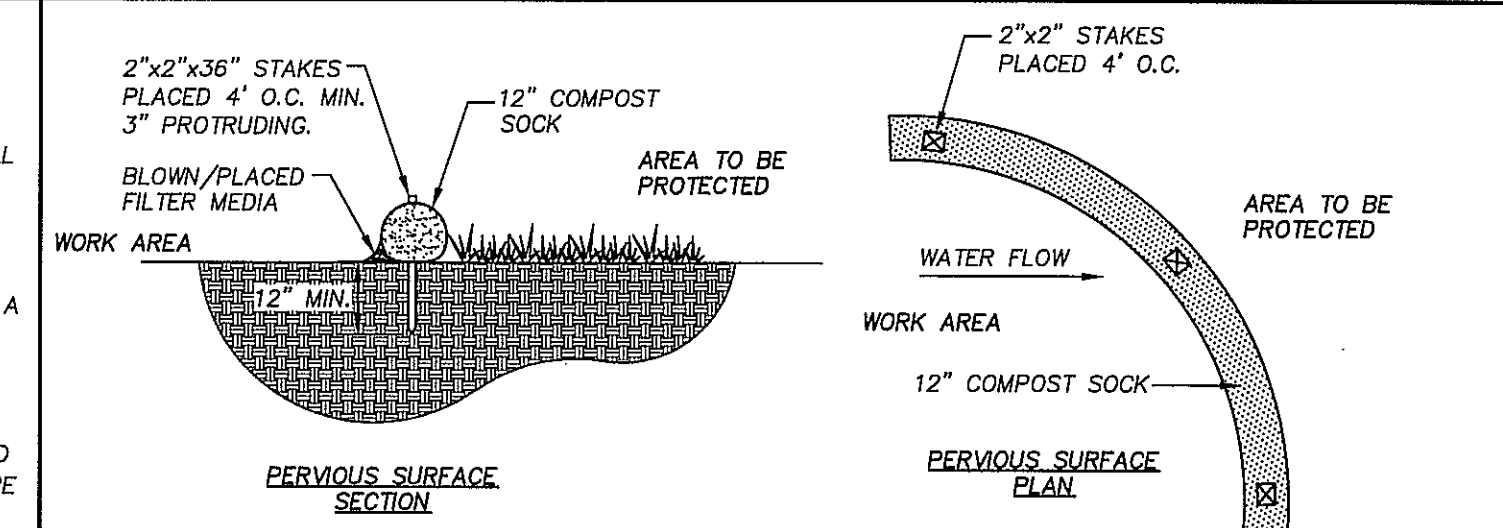
- NOTES:**
- MATERIALS TO BE FILTREXX OR APPROVED EQUAL.
 - ALL MATERIAL AND INSTALLATION TO MEET STATE AND LOCAL SPECIFICATIONS.
 - 2"x2" OAK OR OTHER DURABLE HARDWOOD STAKES SHALL BE USED. STAKES SHALL BE PLACED AT A MAXIMUM INTERVAL OF 4 FEET. STAKES SHALL BE DRIVEN TO A MINIMUM DEPTH OF 12 INCHES, WITH A MINIMUM OF 3 INCHES PROTRUDING ABOVE THE COMPOST SOCKS.
 - IN THE EVENT STAKING IS NOT POSSIBLE (I.E., WHEN SOCKS ARE USED ON PAVEMENT) HEAVY CONCRETE BLOCKS OR SAND BAGS SHALL BE USED BEHIND THE SOCK TO HOLD IT IN PLACE DURING RUNOFF EVENTS.
 - THE ENDS OF THE SOCKS SHOULD BE TURNED SLIGHTLY UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE END OF THE SOCKS.
- MAINTENANCE NOTES:**
- INSPECT COMPOST SOCKS WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT (1/2 INCH OR GREATER).
 - SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED 1/2 THE HEIGHT OF THE CHECK DAM.
 - THE COMPOST SOCK MUST BE REPLACED IF CLOGGED OR TORN.
 - IF PONDING BECOMES EXCESSIVE, THE SOCK MAY NEED TO BE REPLACED WITH A LARGER DIAMETER OR A DIFFERENT MEASURE.
 - THE SOCK NEEDS TO BE REINSTALLED IF UNDERMINED OR DISLODGED.
 - THE COMPOST SOCK SHALL BE INSPECTED UNTIL LAND DISTURBANCE IS COMPLETE AND THE AREA ABOVE THE MEASURE HAS BEEN PERMANENTLY STABILIZED.

TEMPORARY COMPOST SOCK INLET PROTECTION N.T.S.



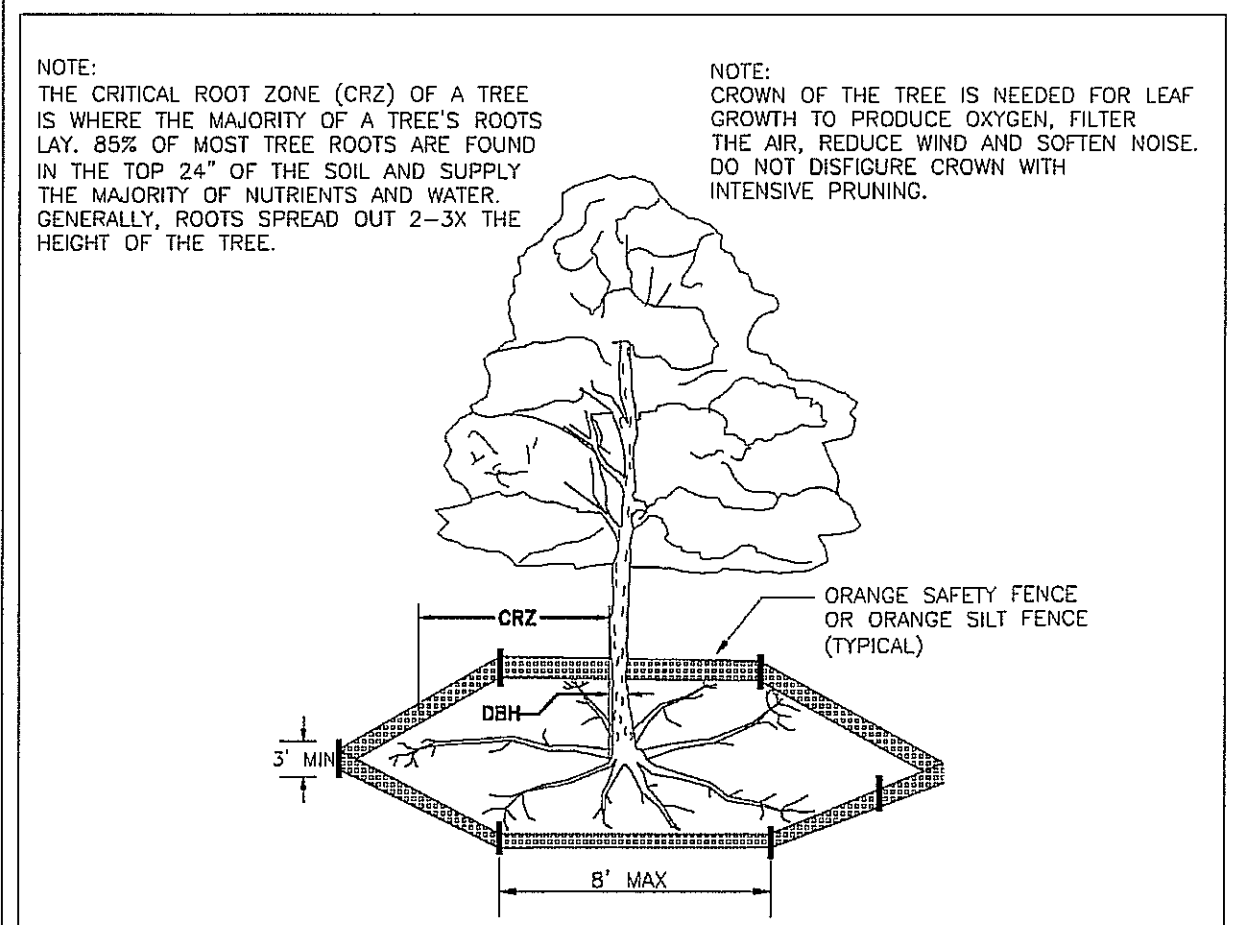
- NOTES:**
- MATERIALS TO BE FILTREXX OR APPROVED EQUAL.
 - COMPOST SOCK CONCRETE WASHOUT SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
 - CONCRETE WASHOUT MAY BE STACKED IN A PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT AND STABILITY.
 - CONCRETE WASHOUT MAY BE DIRECT SEEDED AT THE TIME OF INSTALLATION.
 - 2"x2" OAK OR OTHER DURABLE HARDWOOD STAKES SHALL BE USED. STAKES SHALL BE PLACED AT A MAXIMUM INTERVAL OF 4 FEET. STAKES SHALL BE DRIVEN TO A MINIMUM DEPTH OF 12 INCHES, WITH A MINIMUM OF 3 INCHES PROTRUDING ABOVE THE COMPOST SOCKS.
- MAINTENANCE NOTES:**
- INSPECT COMPOST SOCKS WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT (1/2 INCH OR GREATER).
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 - THE SOCK NEEDS TO BE REINSTALLED IF UNDERMINED OR DISLODGED.
 - THE COMPOST SOCK SHALL BE INSPECTED UNTIL LAND DISTURBANCE IS COMPLETE AND THE AREA ABOVE THE MEASURE HAS BEEN PERMANENTLY STABILIZED.

TEMPORARY COMPOST SOCK CONCRETE WASHOUT N.T.S.



- NOTES:**
- MATERIALS TO BE FILTREXX OR APPROVED EQUAL.
 - ALL MATERIAL AND INSTALLATION TO MEET STATE AND LOCAL SPECIFICATIONS.
 - COMPOST SOCKS SHALL BE INSTALLED PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREAS, PERPENDICULAR TO SHEET FLOW. COMPOST SOCKS ARE EFFECTIVE IN AREAS WHERE SEDIMENT ACCUMULATION OF LESS THAN SIX INCHES IS EXPECTED.
 - COMPOST SOCKS CAN BE APPLIED ON SLOPES UP TO A 2:1 GRADE WITH A MAXIMUM HEIGHT OF 10 FEET. COMPOST SOCK SHOULD NOT BE USED ALONE BELOW GRADE SLOPES GREATER THAN 10 FEET IN HEIGHT.
 - 2"x2" OAK OR OTHER DURABLE HARDWOOD STAKES SHALL BE USED. STAKES SHALL BE PLACED AT A MAXIMUM INTERVAL OF 4 FEET, OR A MAXIMUM INTERVAL OF 8 FEET IF THE SOCK IS PLACED IN A 4 INCH TRENCH. STAKES SHALL BE DRIVEN TO A MINIMUM DEPTH OF 12 INCHES, WITH A MINIMUM OF 3 INCHES PROTRUDING ABOVE THE COMPOST SOCKS.
 - COMPOST SOCKS SHALL BE SLEEVED WHEN SECTIONS LONGER THAN 200'-LF ARE REQUIRED. STAKES SHALL BE PLACED ON SLEEVED AREAS TO KEEP SECTIONS TOGETHER.
 - IN THE EVENT STAKING IS NOT POSSIBLE (I.E., WHEN SOCKS ARE USED ON PAVEMENT) HEAVY CONCRETE BLOCKS OR SAND BAGS SHALL BE USED BEHIND THE SOCK TO HOLD IT IN PLACE DURING RUNOFF EVENTS.
 - COMPOST SOCK SHOULD BE PLACED AT A 10 FOOT MINIMUM DISTANCE FROM THE TOE OF THE SLOPE TO ALLOW FOR A PROPER RUNOFF ACCUMULATION AND MAXIMUM SEDIMENT STORAGE. ON FLAT AREAS, COMPOST SOCK SHALL BE PLACED AT THE EDGE OF DISTURBED AREAS.
 - THE ENDS OF THE SOCKS SHOULD BE TURNED SLIGHTLY UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE END OF THE SOCKS.
- MAINTENANCE NOTES:**
- INSPECT COMPOST SOCKS WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT (1/2 INCH OR GREATER).
 - SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED 1/2 THE HEIGHT OF THE CHECK DAM.
 - THE COMPOST SOCK MUST BE REPLACED IF CLOGGED OR TORN.
 - IF PONDING BECOMES EXCESSIVE, THE SOCK MAY NEED TO BE REPLACED WITH A LARGER DIAMETER OR A DIFFERENT MEASURE.
 - THE SOCK NEEDS TO BE REINSTALLED IF UNDERMINED OR DISLODGED.
 - THE COMPOST SOCK SHALL BE INSPECTED UNTIL LAND DISTURBANCE IS COMPLETE AND THE AREA ABOVE THE MEASURE HAS BEEN PERMANENTLY STABILIZED.

TEMPORARY COMPOST SOCK PERIMETER FENCE N.T.S.



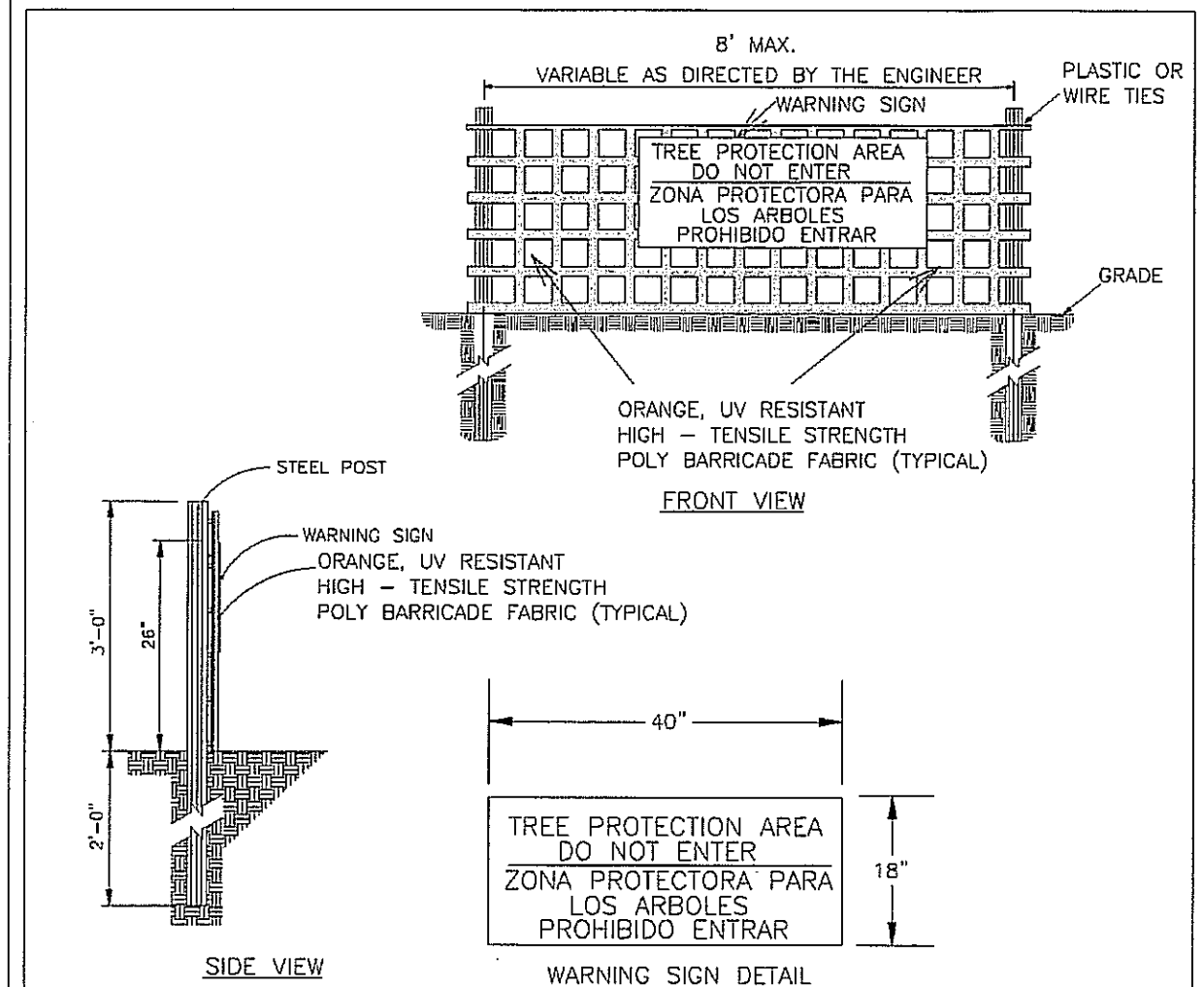
- NOTE:**
THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.
- NOTE:**
CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISFIGURE CROWN WITH INTENSIVE PRUNING.
- NOTES:**
- PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
 - CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
 - IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
 - WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
 - FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
 - FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

DATE: JAN 2015
DRAWN BY: JSK
CHECKED BY: RDO, P.E.
SCALE: NOT TO SCALE

STANDARD DETAIL
TREE PROTECTION DURING CONSTRUCTION
SHEET 1 of 2

CITY OF WILMINGTON
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 15-09



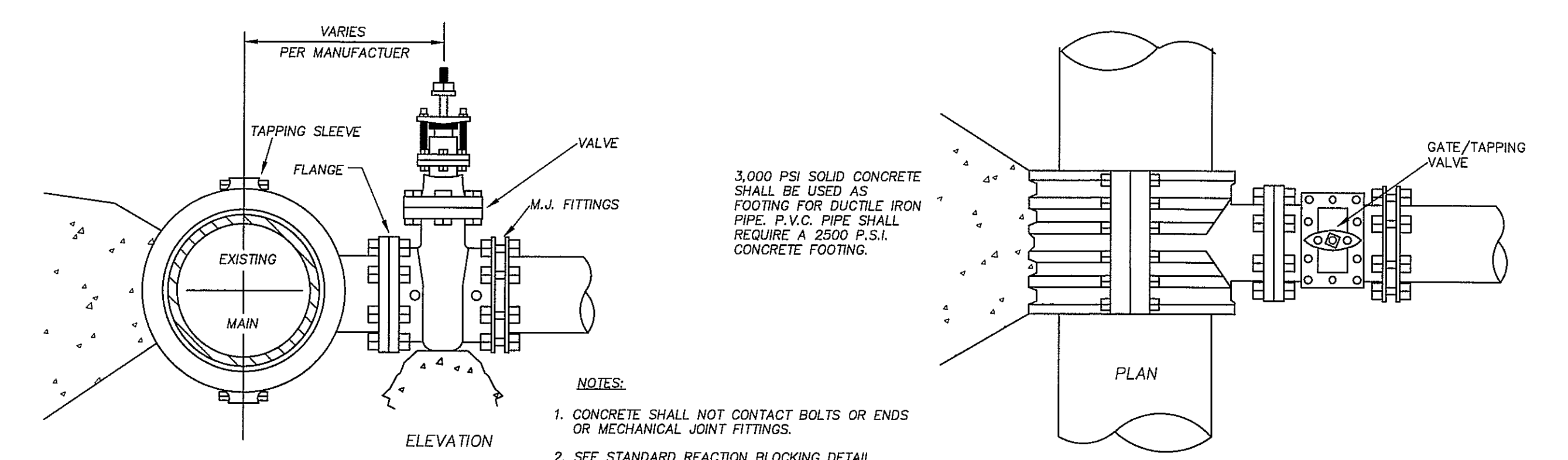
- NOTES:**
- THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
 - WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 - SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
 - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
 - TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
 - ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

DATE: JAN 2015
DRAWN BY: JSK
CHECKED BY: RDO, P.E.
SCALE: NOT TO SCALE

STANDARD DETAIL
TREE PROTECTION DURING CONSTRUCTION
SHEET 2 of 2

CITY OF WILMINGTON
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 15-09



- NOTES:**
- CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OR MECHANICAL JOINT FITTINGS.
 - SEE STANDARD REACTION BLOCKING DETAIL FOR AREA OF CONCRETE REQUIRED.

4" - 24" STANDARD TAPPING SLEEVE AND VALVE ASSEMBLY N.T.S.

CITY OF WILMINGTON DETAILS

APPROVED CONSTRUCTION PLAN	
NAME	DATE
PLANNING	
TRAFFIC	
FIRE	

S A W Y SHERWOOD & ASSOCIATES ARCHITECTS

124 Market St, Wilmington, NC 910 762-0892

CL DESIG
400 Regency Suite 120
Cary, NC 27513
Phone: 919-487-1111
Fax: 919-487-1112
LA: C-106

PRELIMINARY NOT FOR CONSTRUCTION

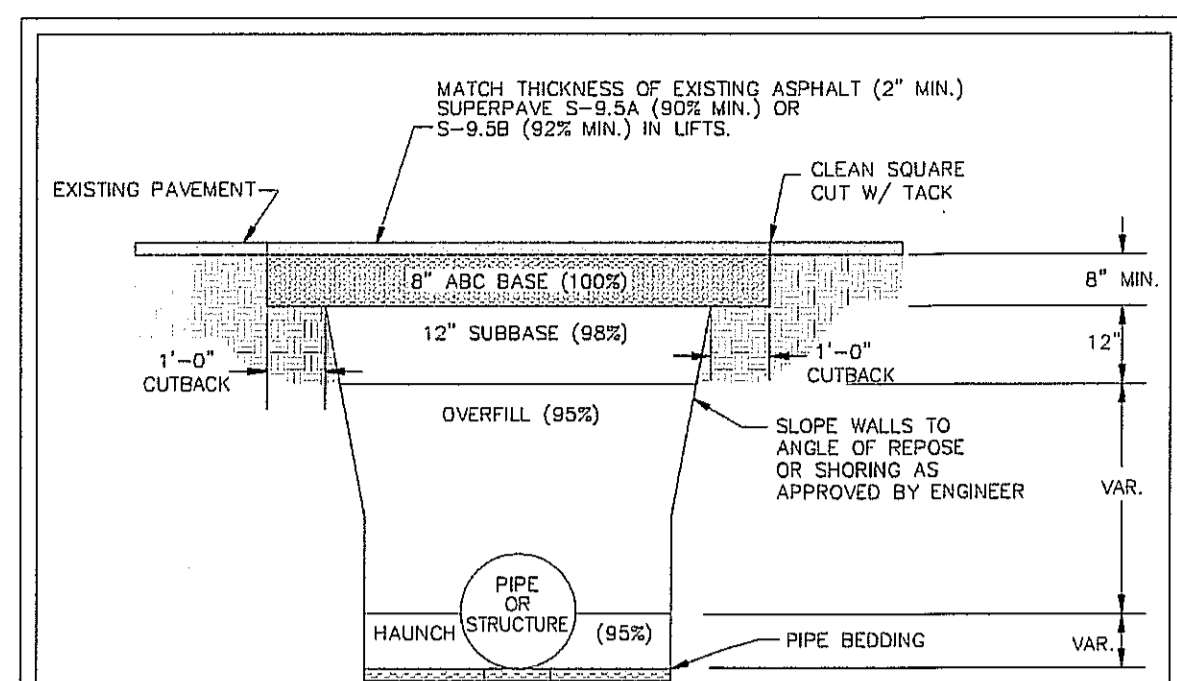
ADDITION
1101 MANLY AVENUE
Wilmington, NC, 28402

CITY OF WILMINGTON
MINOR SITE PLAN SUBM
06-21-2019

Revisions:

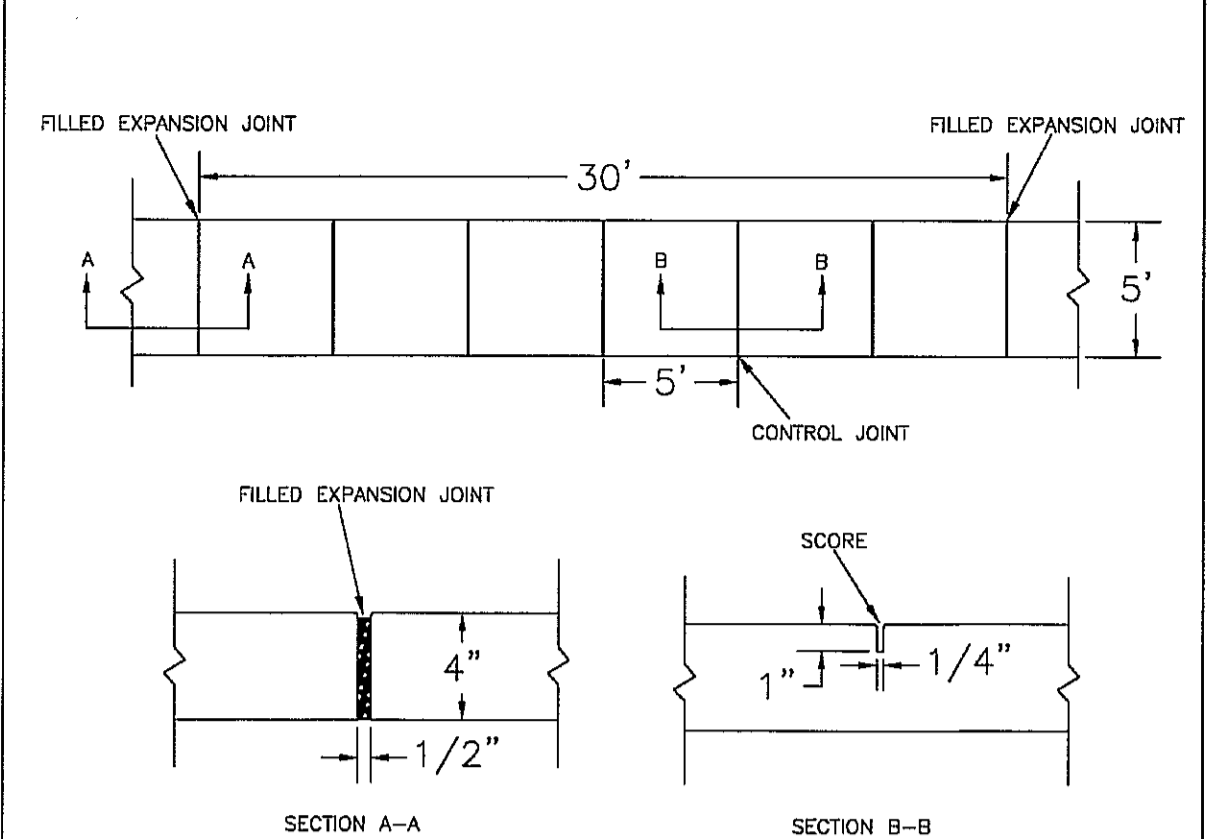
DETAILS

C701



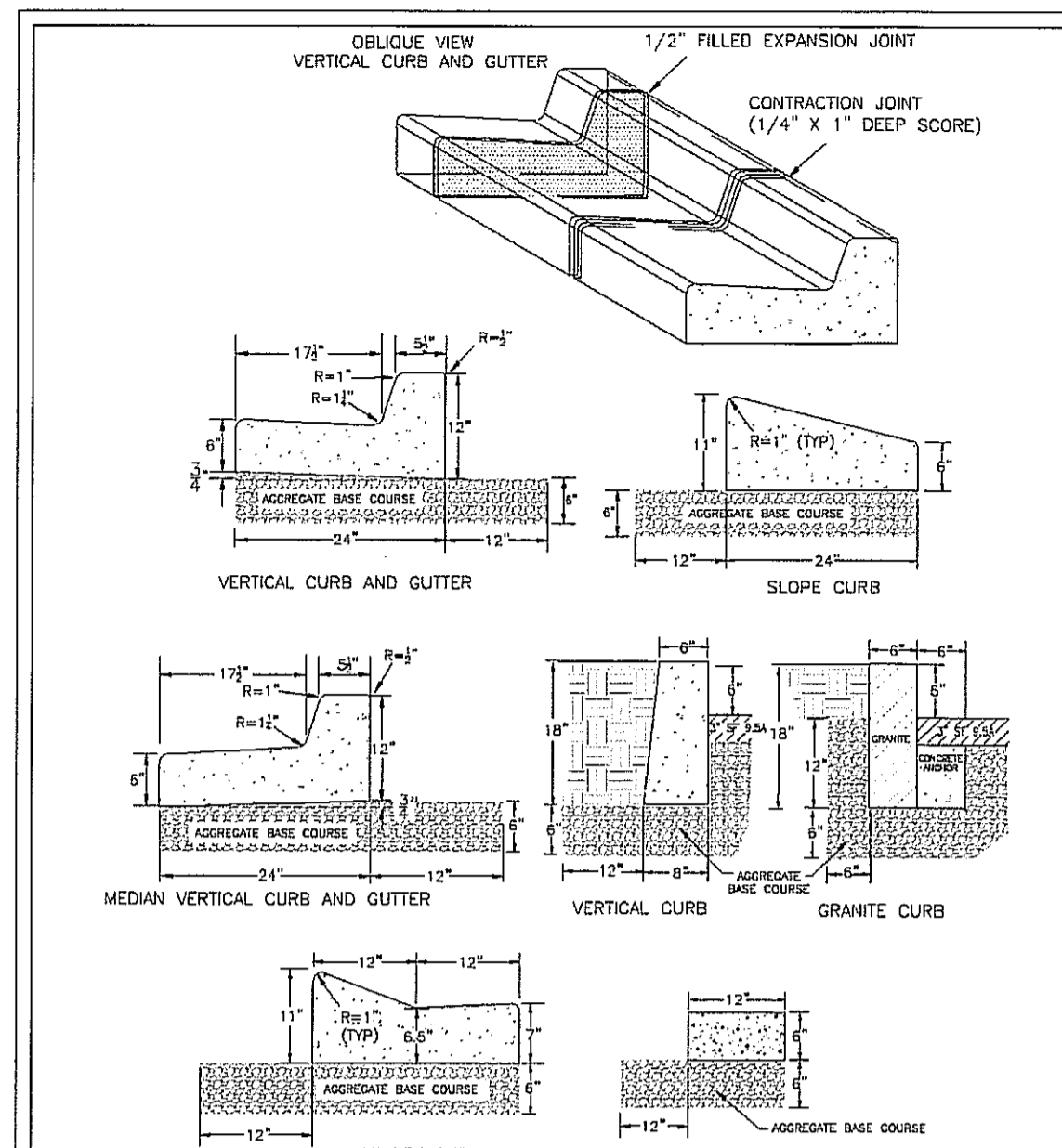
- NOTES:
- CONTRACTOR SHALL ENSURE BOTTOM OF TRENCH IS SUITABLE FOR INSTALLATION AND DOES NOT REQUIRE FOUNDATION CONDITIONING STONE.
 - FILL SHALL BE SUITABLE MATERIAL THAT IS FREE FROM HEAVY CLAY, GUMBOS, DEBRIS, ORGANICS AND LITTLE TO NO EXCESSIVE MOISTURE.
 - SELECT BACKFILL MAY BE SUBSTITUTED OR REQUIRED BY CITY TO ACHIEVE COMPACTION (I.E. #57, ABC, CRUSHED LIMESTONE, CLEAN SAND, FLOWABLE FILL, ETC).
 - SOIL SHALL BE INSTALLED IN 6"-8" LIFTS AND COMPACTED BY A MECHANIZED TAMPER (I.E. JUMPING JACK), HOWEVER VIBRATORY ROLLERS > 18" WIDTH MAY BE USED FOR LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED.
 - ALL APPROVED CASTINGS SHALL BE SET FLUSH TO GRADE AND SUPPORTED IF APPLICABLE.
 - COMPACT MATERIALS TO MINIMUM % DENSITY SHOWN IN DIAGRAM AS DETERMINED BY THE STANDARD PROCTOR METHOD ASTM D-698-A FOR SOILS, AND ASTM D-698-C FOR ABC STONE, AND BY NUCLEAR GAUGE OR CORE SAMPLE FOR ASPHALT.
 - CUTBACKS OF ASPHALT SHALL BE PREPARED ON EDGE OF EXCAVATION OVER TOP OF UNDISTURBED SOIL.

STANDARD DETAIL
PAVEMENT REPAIRS- UTILITY CUTS
 DATE: MAY, 2013
 DRAWN BY: JSR
 CHECKED BY: D.E.C./P.E.
 SCALE: NOT TO SCALE
 CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 312 OPERATIONS CENTER DRIVE
 WILMINGTON, NC 28402
 (910) 341-7807
 SD 1-05



- NOTES:
- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
 - SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
 - MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
 - CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
 - MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
 - 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
 - MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
 - MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
 - MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

STANDARD DETAIL
SIDEWALK
 DATE: OCTOBER, 2010
 DRAWN: PWJR
 CHECKED: DEC
 SCALE: NOT TO SCALE
 CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807
 SD 3-10

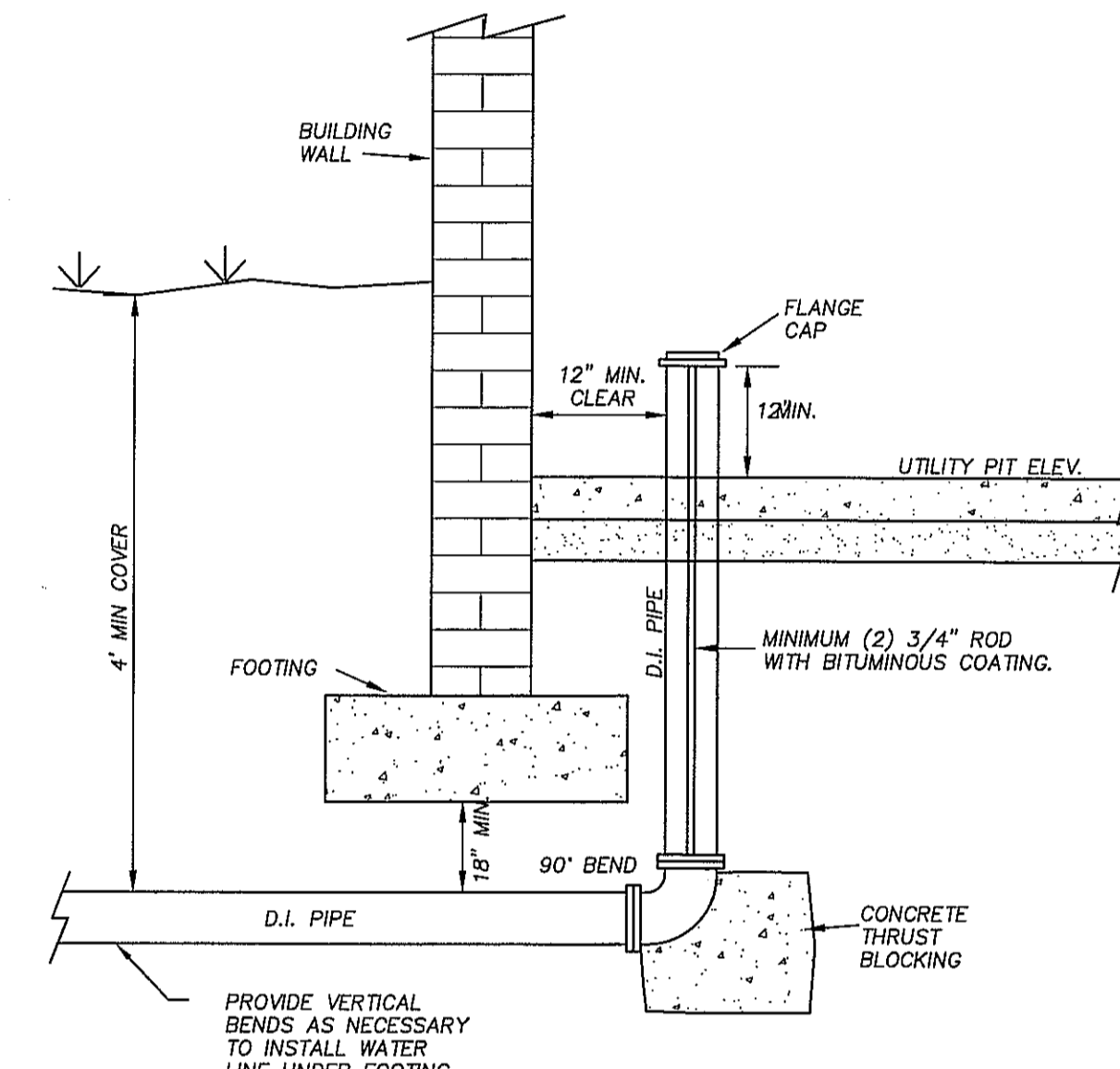


- NOTES:
- EXPANSION JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS
 - 50' MAX EXPANSION JOINT SPACING, 10' MAX CONTRACTION JOINT SPACING
 - MINIMUM INSTALLATION LENGTH IS 3 FT.
 - CONCRETE TO BE 3000 PSI MIN
 - VERTICAL CURB AND GUTTER BASE CAN BE SLOPED 3/4" OR USE A FLAT BASE
- STANDARD DETAIL
CURBING
 DATE: AUGUST, 2011
 DRAWN: PWJR
 CHECKED: DEC
 SCALE: NOT TO SCALE
 CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807
 SD 3-11

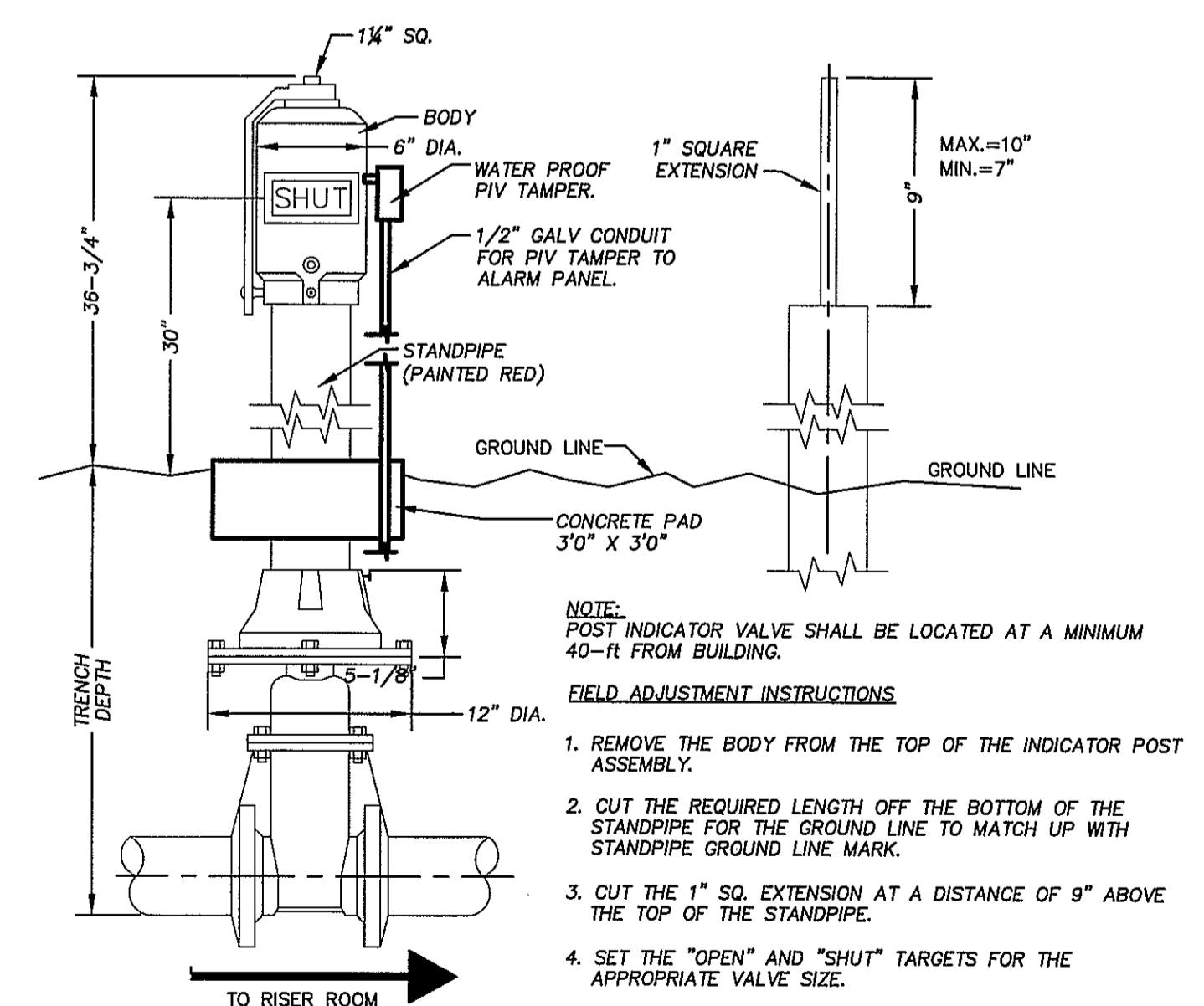
	ASPHALT PAVEMENT	ASPHALT TRAIL
TYPE 5-9.5B SURFACE COURSE	-	1.5-IN
TYPE 1-19.5B BINDER COURSE	-	-
AGGREGATE BASE COURSE	-	4-IN
	COMPACTED SUBGRADE	

- NOTES:
- SEE SPECIFICATIONS FOR PROFFROLLING, COMPACTION & TESTING REQUIREMENTS. DETAIL IS FOR ON-SITE PAVING OPERATIONS ONLY.
 - THE CONTRACTOR MAY CHOOSE TO INSTALL INTERMEDIATE COURSES OF PAVEMENT TO STABILIZE THE SITE DURING CONSTRUCTION AT NO ADDITIONAL COST.
 - THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ADEQUATE THICKNESS REQUIRED FOR INTERMEDIATE PAVING. INCREASES IN THE DESIGN PAVEMENT SECTION TO FACILITATE INTERMEDIATE PAVING SHALL BE PROVIDED AT NO ADDITIONAL COST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGES TO SUBGRADE, INSTALLED BASE COURSE AND/OR INTERMEDIATE PAVING PRIOR TO PLACING SUBSEQUENT PAVEMENT LIFTS AT NO ADDITIONAL COST.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING PAVEMENT DURING ALL PHASES OF WORK. THE FINAL SURFACE OF PAVEMENT SHALL BE FREE OF ALL DEFECTS OR DAMAGE.

ASPHALT PAVEMENT N.T.S.



STANDARD FIRE SERVICE INSTALLATION AT BUILDING N.T.S.

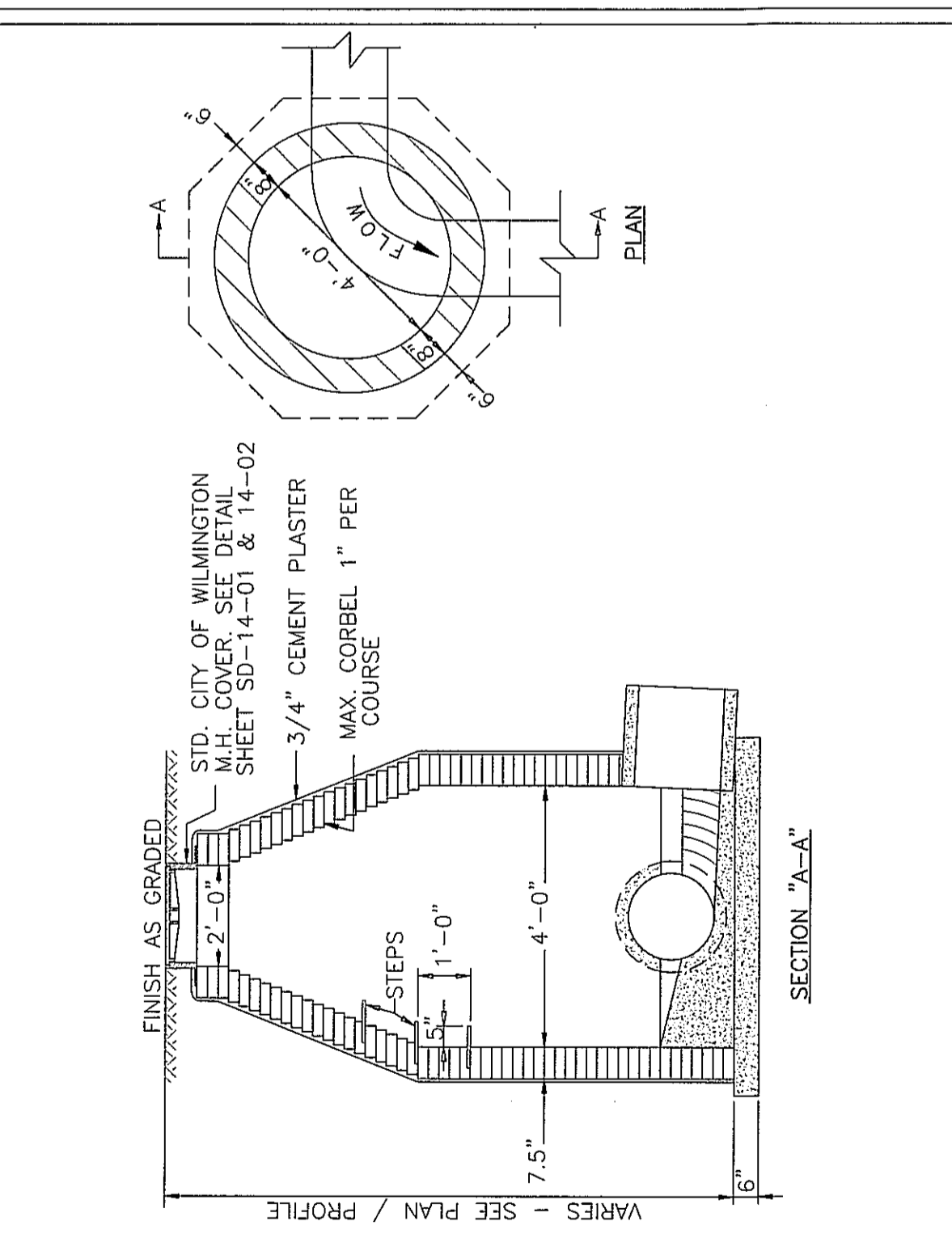


- NOTE: POST INDICATOR VALVE SHALL BE LOCATED AT A MINIMUM 40'-R FROM BUILDING.
- FIELD ADJUSTMENT INSTRUCTIONS
- REMOVE THE BODY FROM THE TOP OF THE INDICATOR POST ASSEMBLY.
 - CUT THE REQUIRED LENGTH OFF THE BOTTOM OF THE STANDPIPE FOR THE GROUND LINE TO MATCH UP WITH STANDPIPE GROUND LINE MARK.
 - CUT THE 1" SQ. EXTENSION AT A DISTANCE OF 9" ABOVE THE TOP OF THE STANDPIPE.
 - SET THE "OPEN" AND "SHUT" TARGETS FOR THE APPROPRIATE VALVE SIZE.
 - RE-ATTACH THE BODY TO THE TOP OF THE INDICATOR POST ASSEMBLY.
 - ALL PIV(S) SHALL BE INSTALLED WITH AN ELECTRONICALLY CONTROLLED TAMPER SWITCH.

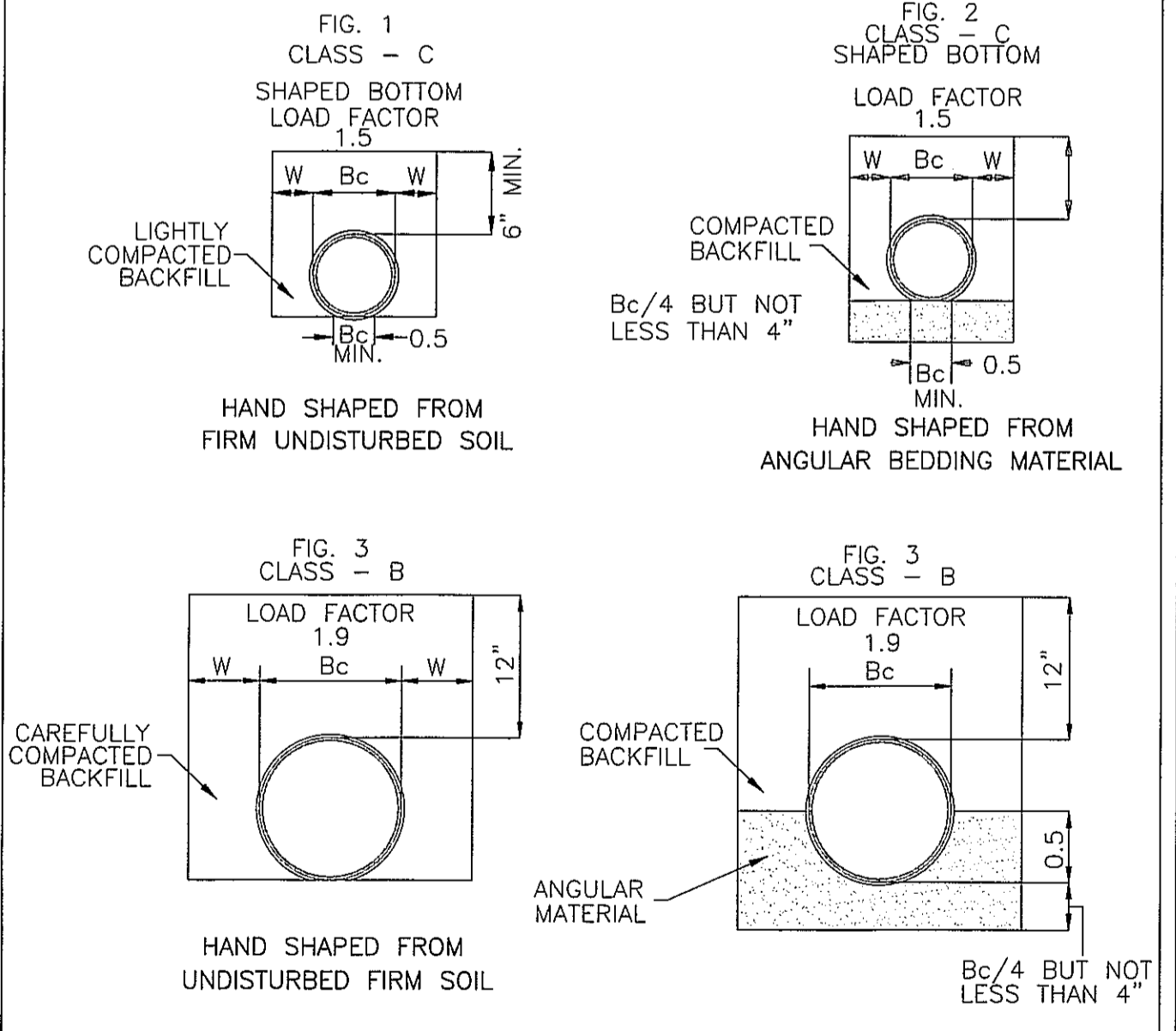
APPROVED CONSTRUCTION PLAN

NAME	DATE
PLANNING	
TRAFFIC	
FIRE	

POST INDICATOR VALVE N.T.S.



STANDARD DETAIL
GUIDELINES FOR STORM DRAIN MANHOLE
 DATE: 2001
 DRAWN BY: JSR/CMR
 CHECKED BY: B.P./P.E.
 SCALE: NOT TO SCALE
 CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807
 SD 2-03



STANDARD DETAIL
GUIDELINES FOR BEDDING DETAILS, STORM SEWER CLASSES (B & C)
 DATE: 2001
 DRAWN BY: JSR/CMR
 CHECKED BY: B.P./P.E.
 SCALE: NOT TO SCALE
 CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807
 SD 2-17

CITY OF WILMINGTON DETAILS

SAWYER SHERWOOD & ASSOCIATES ARCHITECTS
 124 Market St, Wilmington, NC
 910 762-0892

CL DESIGN
 400 Regency
 Suite 120
 Cary, NC 27513
 Phone: 919-487-9191
 Fax: 919-487-9192
 LA: C-106

PRELIMINARY NOT FOR CONSTRUCTION

GYMNASIUM ADDITION
 1101 MANLY AVENUE
 Wilmington, NC, 28402

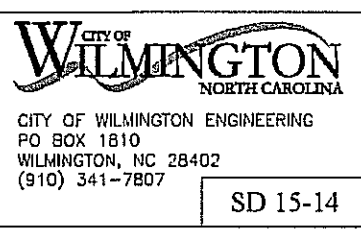
CITY OF WILMINGTON
 MINOR SITE PLAN SUBM
 06-21-2019

Revisions:

DETAILS

C702

- No plantings over thirty (30) inches in height allowed in vision clearance.
- Protection from vehicular traffic provided around all landscaping with a minimum height of six (6) inches.
- Owner is responsible for maintenance to ensure plant material lives and prospers.
- Planting plans shall be approved by Landscape Designer prior to installation.
- Landscaping shall be required at the ends of all parking rows.
- A low buffer shall be required where parking is within fifty (50) feet of the Right-of-Way.
- Landscaped islands shall be a minimum width of twelve (12) feet (back of curb to back of curb) and a minimum of two hundred and sixteen (216) square feet.
- A minimum of fifteen (15) trees 2 inches or greater in diameter as measured 6 inches above ground per disturbed acre.
- For recommended Plant List see "Landscape" T-10.4.

DATE: APRIL 2008	STANDARD DETAIL	 <p>CITY OF WILMINGTON NORTH CAROLINA CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN BY: JSR	LANDSCAPE NOTES	
CHECKED BY: B.P., P.E.		
SCALE: NOT TO SCALE		
	SD 15-14	

DATE	TYPE	PLANTING RATE
AUG 15 - APR 15	3-WAY TALL FESCUE BLEND AND WINTER RYE (GRAIN)	240 LBS/ACRE 25 LBS/ACRE
APR 15 - AUG 15	3-WAY TALL FESCUE BLEND AND GERMAN MILLET *** (SMALL-STEMMED VAR.) ***	240 LBS/ACRE 25 LBS/ACRE 30 LBS/ACRE

CONSULT CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENUDED AREAS. THE ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.

***TEMPORARY - RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW OVER 12" IN HEIGHT BEFORE MOWING, OTHERWISE FESCUE MAY BE SHADED OUT.

- PERMANENT OR TEMPORARY GROUND COVER SHALL BE PROVIDED OVER ALL DISTURBED AREAS OF THE SITE AS SOON AS POSSIBLE; HOWEVER, NO LATER 21 DAYS AFTER CONSTRUCTION ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED DURING ANY PHASE OF WORK.
- USE EXCELSIOR MATTING OR OTHER APPROVED CHANNEL LINING MATERIAL TO COVER THE BOTTOM OF CHANNELS.
- APPLY 4000 LB/ACRE GRAIN STRAW OVER SEEDING AREAS AND APPLY ASPHALT TACKING AT A RATE OF 400 GAL/ACRE.
- MULCH AND ANCHORING MATERIALS MUST NOT BE ALLOWED TO WASH DOWN SLOPES AND CLOG DRAINAGE DEVICES.

TEMPORARY SEEDING SCHEDULE

LAWN AREAS AND ALL DISTURBED AREAS	DATE	TYPE	PLANTING RATE
	APR 15- JULY 15**	HULLED SUNSTAR BERMUDA	85 LBS/ACRE*
	JULY 15- AUG 15	SUNSTAR BERMUDA SPRIGS (WATERING AT CONTRACTORS EXPENSE)	
	AUG 15 - APR 15	TEMPORARY SEEDING APPLIES**	5 BUSHELS/1,000 SF

* OR AS REQUIRED TO ACHIEVE 95% COVERAGE AS DETERMINED ON A PER SQUARE YARD BASIS PRIOR TO SUBSTANTIAL COMPLETION.

** WHEN SEEDING MUST TAKE PLACE OUT-OF-SEASON FOR PERMANENT GRASS, APPROPRIATE TEMPORARY SEEDING SHALL BE DONE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERMANENT SEEDING AS SPECIFIED IN SEASON AT NO ADDITIONAL COST TO OWNER.

LAWN MAINTENANCE:

SEE SPEC SECTION 329000 FOR LAWN MAINTENANCE REQUIREMENTS. LAWN MUST BE AT 95% COVERAGE AT SUBSTANTIAL COMPLETION REVIEW TO BE ACCEPTED.

IF NOT AT 95% SUBSTANTIAL COMPLETION WILL BE DELAYED UNTIL THE FOLLOWING GROWING SEASON.

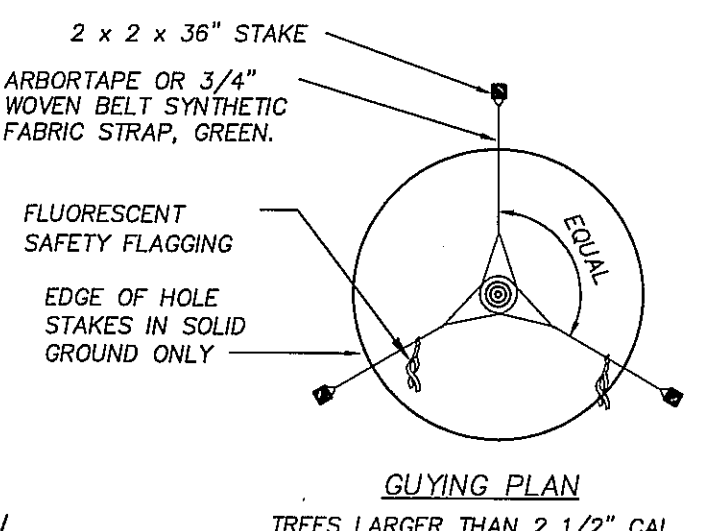
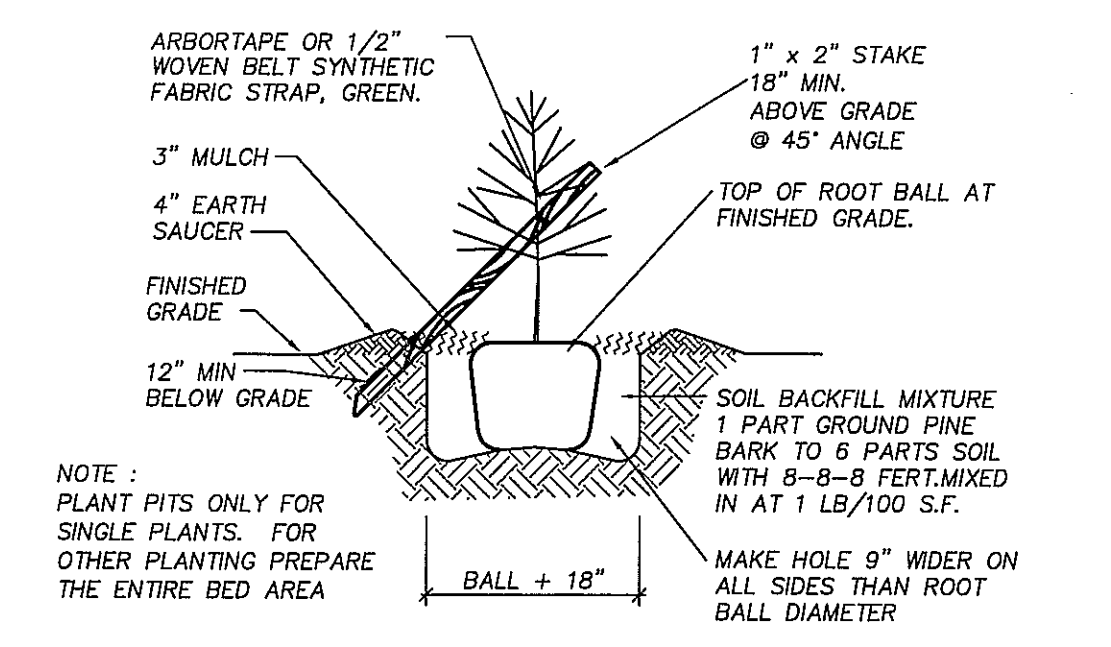
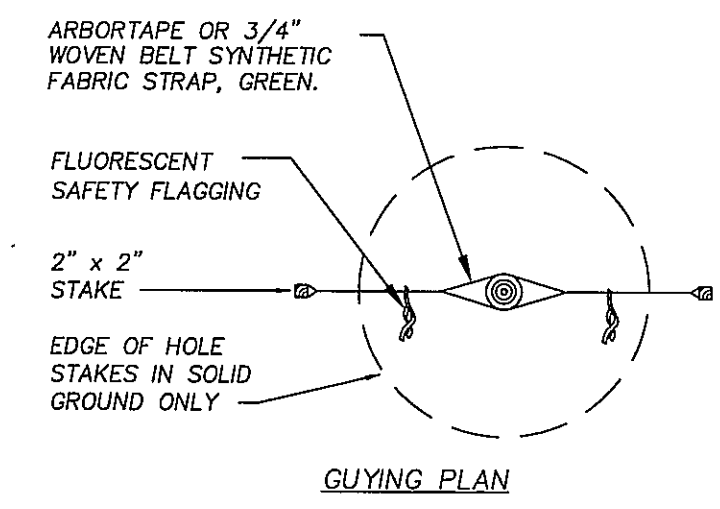
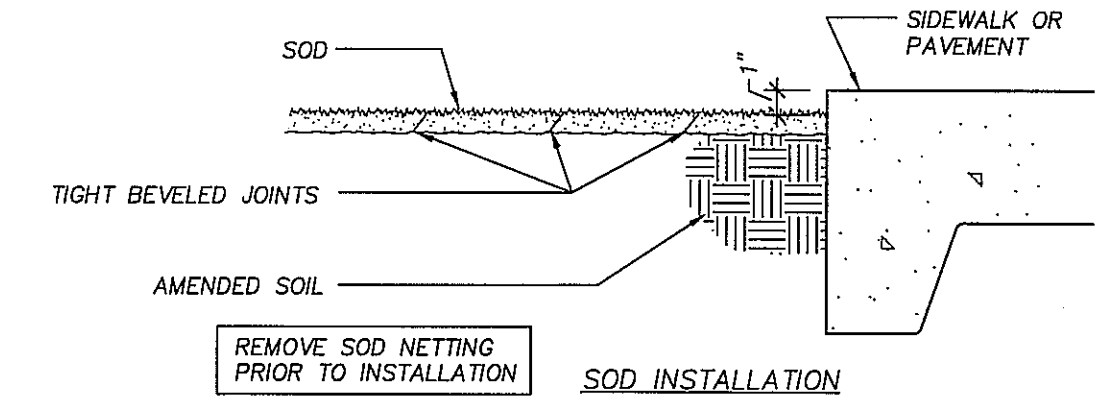
SEEDBED PREPARATION

- CHISEL ALL CUT GRADED OR COMPACTED AREAS TO A MINIMUM DEPTH OF 8"
- DISC ALL AREAS TO RECEIVE GRASS TO A MINIMUM OF 8 INCHES, MIX AND AMEND WITH 3 INCHES OF IMPORTED TOPSOIL. REFER TO SPECIFICATIONS FOR TOPSOIL REQUIREMENTS.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM. CONSTRUCTION EQUIPMENT & TRAFFIC SHALL BE REMOVED PRIOR TO SEEDING.
- APPLY AGRICULTURAL LIME, FERTILIZER, AND PHOSPHATE UNIFORMLY AS PER SPECIFICATIONS AND MIX WELL WITH SOIL.
- CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED TO A 6 INCHES DEPTH.
- SEED AT RATE SPECIFIED. ACHIEVE AND MAINTAIN MINIMUM 95% COVERAGE PRIOR TO FINAL ACCEPTANCE, AS DETERMINED ON A PER SQUARE YARD SAMPLE BASIS.
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH. BEGIN THOROUGH WATERING OF GRASSED AREAS IMMEDIATELY UPON INSTALLATION. DO NOT ALLOW GRASSED AREAS TO BECOME EXCESSIVELY DRY.
- INSPECT ALL SEEDING AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- REFER TO WRITTEN SPECIFICATIONS FOR WARRANTY AND MAINTENANCE OF LAWNS PRIOR TO OWNER'S FINAL ACCEPTANCE.
- IF CONFLICTS OCCUR BETWEEN WRITTEN SPECIFICATIONS AND THE DRAWINGS, THE WRITTEN SPECIFICATIONS SHALL PREVAIL.

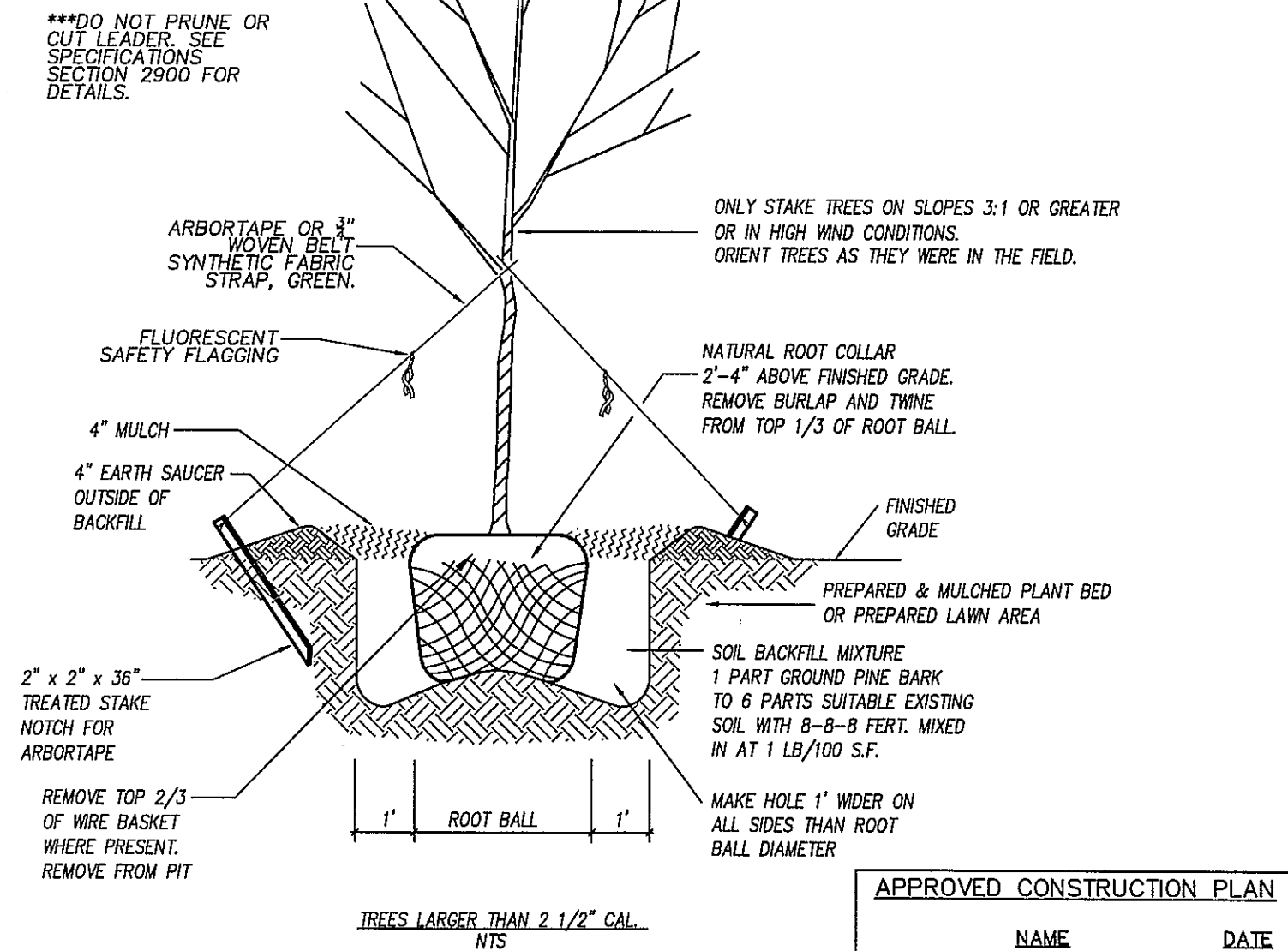
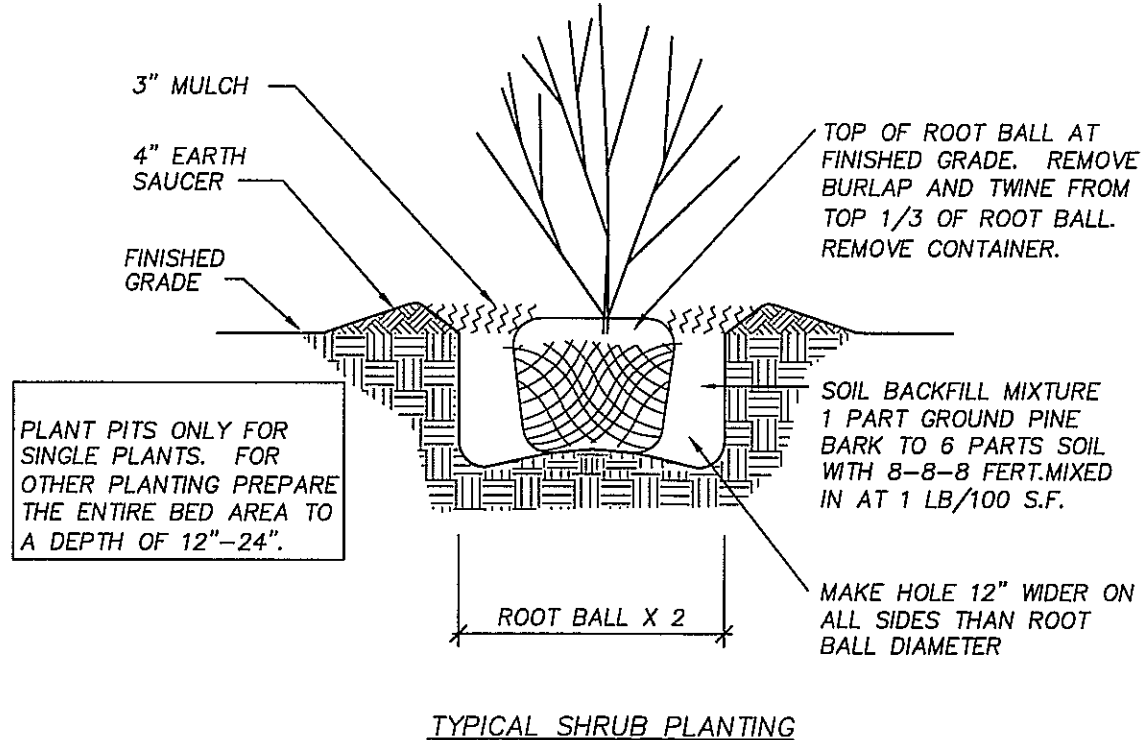
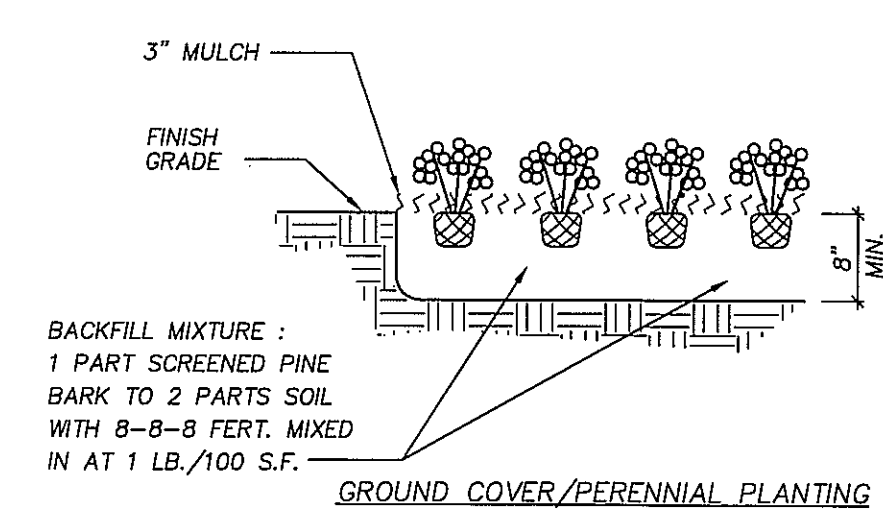
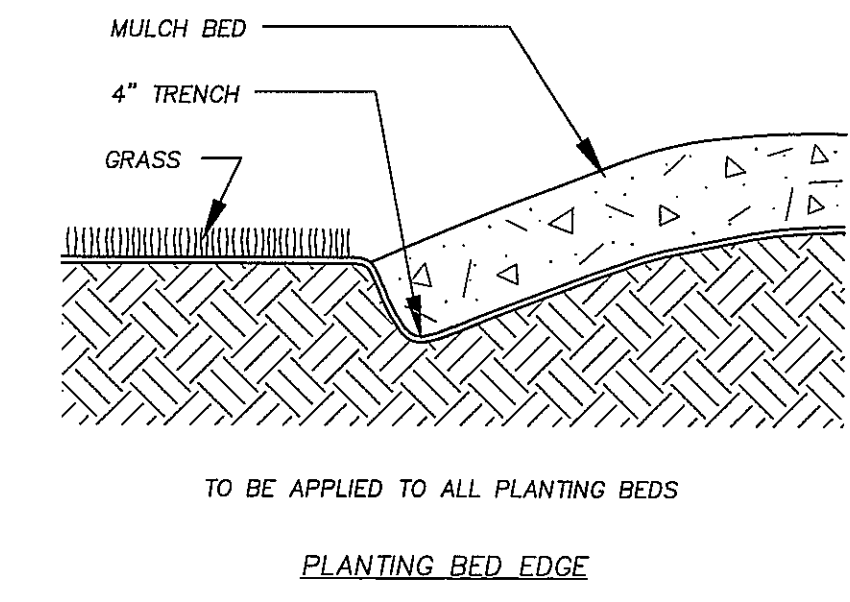
PERMANENT SEEDING SCHEDULE- LAWN AREAS

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY A MINIMUM 2 TONS/ACRE GROUND AGRICULTURAL LIMESTONE (3 TONS/ACRE IN CLAY SOILS) AND A MINIMUM 500 LB/ACRE 10-10-10 FERTILIZER, AS NEEDED TO ESTABLISH 95% COVERAGE (AS DETERMINED ON A PER SQUARE YARD BASIS) PRIOR TO SUBSTANTIAL COMPLETION. CONTRACTOR TO SUBMIT A COPY OF ALL SOIL REPORTS TO OWNER UPON RECEIPT.

LIME & FERTILIZATION SCHEDULE



CITY OF WILMINGTON DETAILS



NAME	DATE
PLANNING	
TRAFFIC	
FIRE	

PLANTING DETAILS

N.T.S.

SAWYER SHERWOOD & ASSOCIATES ARCHITECTS
124 Market St., Wilmington, NC 910 762-0892

CL DESIGN
400 Regency Suite 120 Cary, NC 27513 Phone: 919.486.9191 Fax: 919.486.9192 LA: C-1061

PRELIMINARY NOT FOR CONSTRUCTION

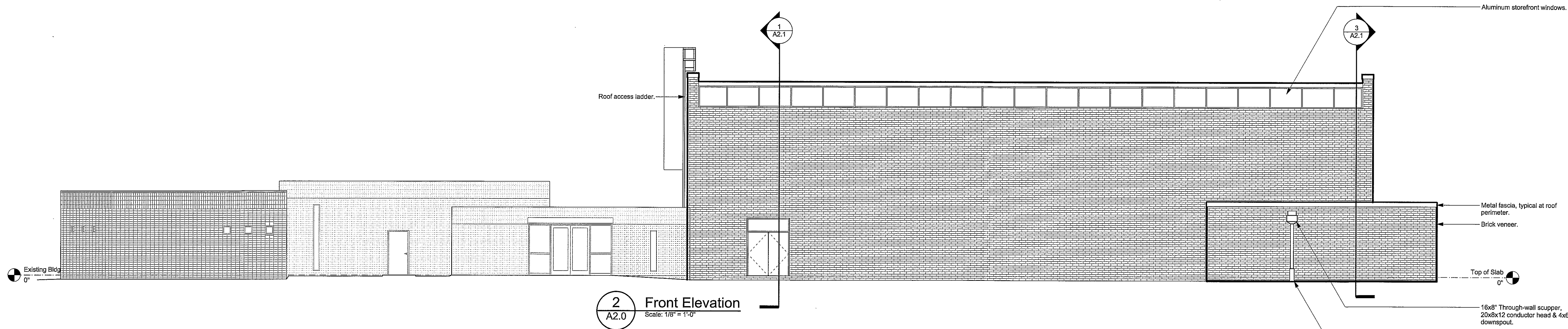
GYMNASIUM ADDITION
1101 MANLY AVENUE
Wilmington, NC, 28402

CITY OF WILMINGTON
MINOR SITE PLAN SUBMITTAL
06-21-2019

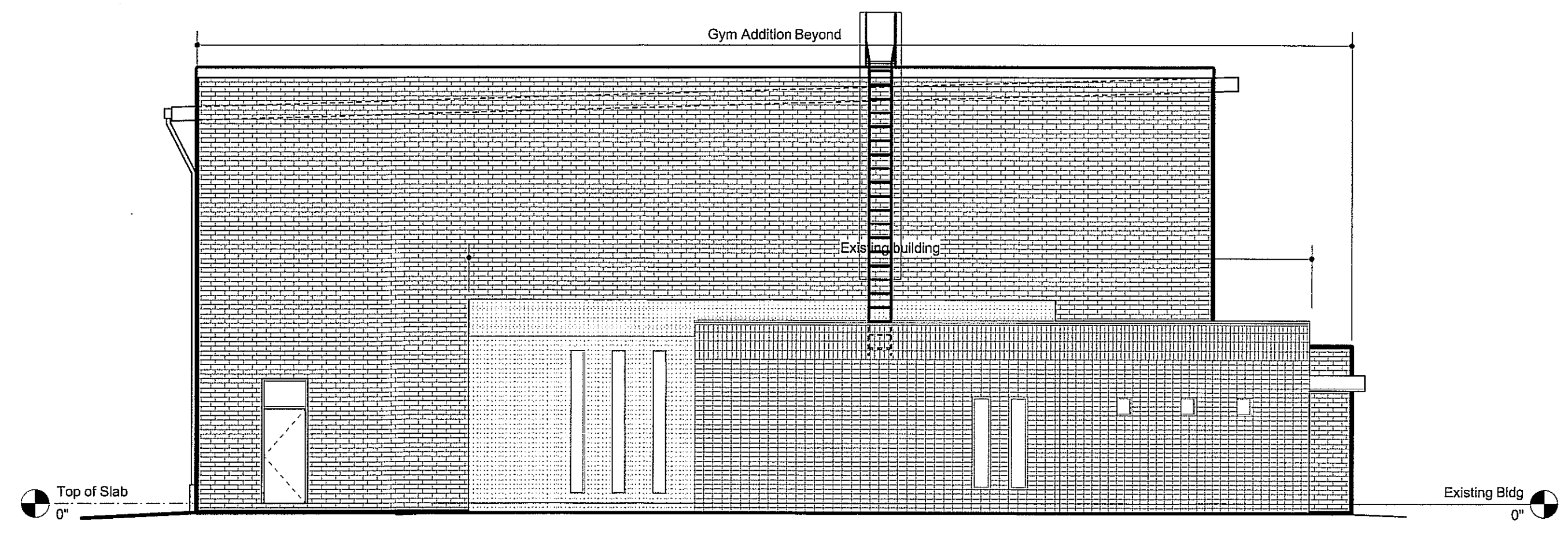
Revisions:

DETAILS

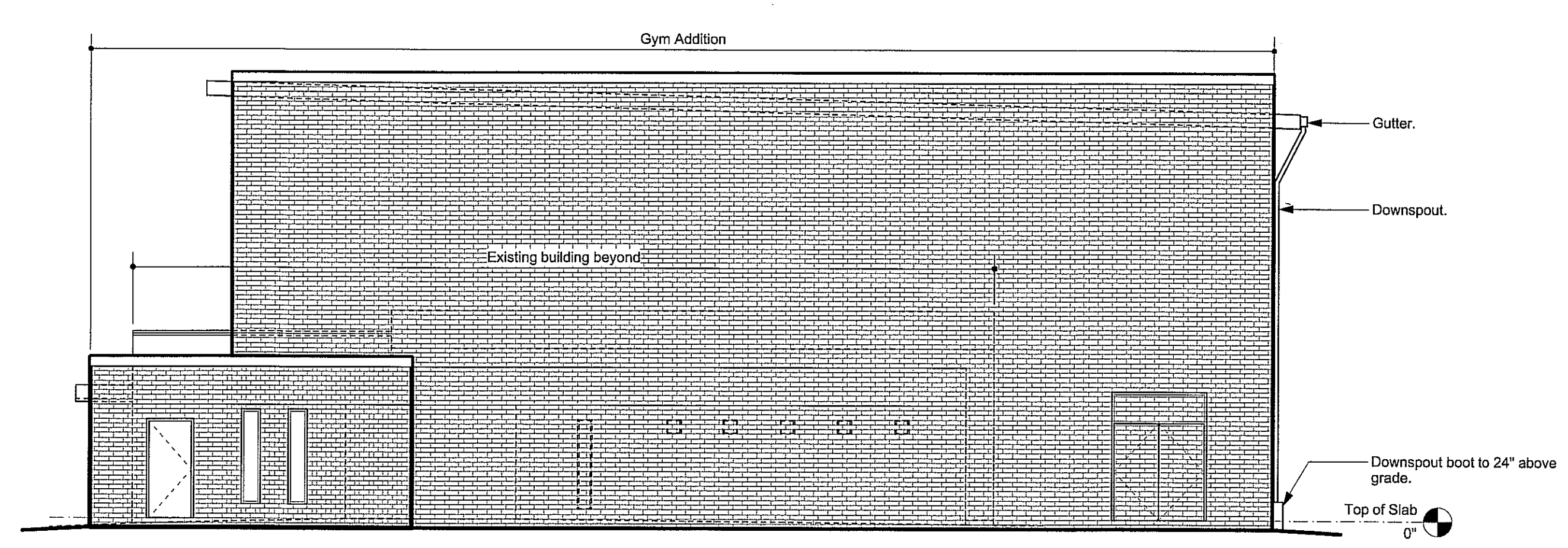
C703



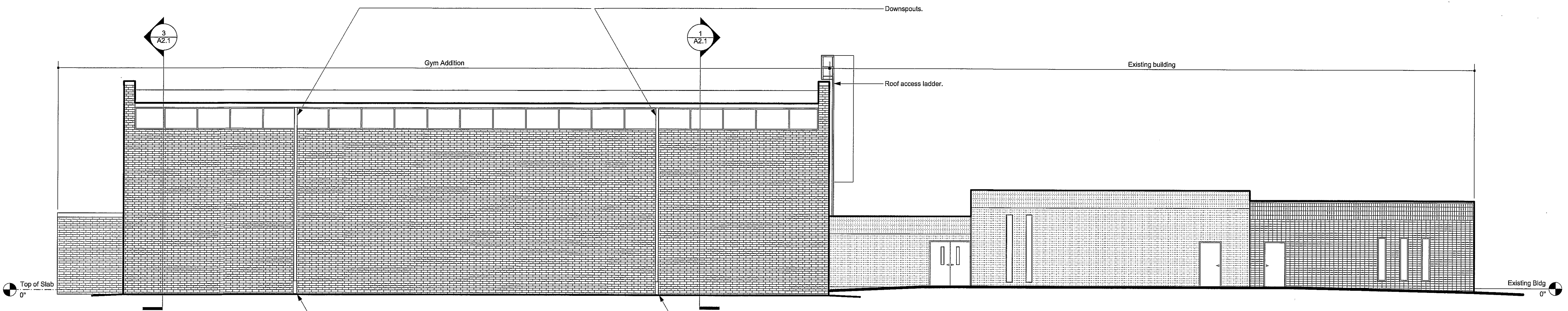
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4 Left Elevation
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Scale: 1/8" = 1'-0"



5 Right Elevation
A2.0
Scale: 1/8" = 1'-0"



8 Rear Elevation
A2.0
Scale: 1/8" = 1'-0"

**S A W
SHERW
& ASSO
ARCHIT**

124 Market St. Wilmir
910 762-0892

CLH DI
Architectural Firm
Suite 120
Cape Fear Center
Phone: (910) 314-
Fax: (910) 314-
LA-C-108
PE-C-108

WE
WOODSENG
Consult

254 North Front Street P
Suite 201
Wilmington, NC 28401 w

**CHEATHAM AND A
CONSULTING I**
3412 ENTER
WILMINGTON, NC
PHONE: (84

**Gymnasium
Addition
Derick G.
Commun
Center**
1101 Manly /
Wilmington,
Preliminary Con
Drawings
June 20, 2019

Revisions:

Building
Elevation

A2.0
of ##
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